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To join via phone: Call 1-312-626-6799
To join via Zoom meeting: www.zoom.us.

Meeting ID: 890 8617 9156
Password: 794409

TOWN OF GIBRALTAR
REGULAR MONTHLY MEETING WITH CLOSED
SESSION PER WIS. STATS. §19.85(1)(g)
WEDNESDAY, APRIL 9, 2025
GIBRALTAR TOWN CENTER
4097 HIGHWAY 42, FISH CREEK WI 54212
7:00 P.M.

1. Call to Order
2. Pledge of Allegiance
3. Roll call/quorum
4. Approve the agenda D/A
5. Approve minutes of previous meeting(s) D/A
6. Committee reports (*Reports are for informational purposes only*)
7. Public Comment
8. Special Event Request Peninsula Gun: Club 65th Anniversary Celebration with Temporary Wine License D/A
9. Amended Special Event Request VFC: August 1 Fish Fri Concert—Request for face painter and henna tattoo artist D/A
10. Special Event Request VFC: Derby Days D/A
11. Special Event Request GHA: Door County Spinners D/A
12. Special Event Request Peninsula Pacers: Peninsula Century Fall Challenge D/A
13. Special Event Request Peninsula Pacers-Friends of Gibraltar: Hairpin Run/Walk 5 K D/A
14. Special Event Request Peninsula Pacers-National MS Society: MS Challenge walk D/A
15. Special Event Request Peninsula Pacers: Shuttle service Door County Beer/Wine Fest D/A
16. Special Event Request Explosions of Fun: July 2nd fireworks D/A
17. Special Event Request Spruce & Shore Motel: Ribbon Cutting Ceremony with food truck D/A
18. County Zoning goals review and next steps
19. Consideration of Stantec Contract for survey and staking (boardwalk options) Fish Creek Park D/A
20. Consideration of Plan Commission Recommendation for Conditional Use Permit to Establish Auditorium and Assembly Hall at 3931 State Highway 42 D/A
21. Consideration of contract for Lake Michigan Fund grant (Acceptance) D/A
22. Consideration of authorization resolution Knowles-Nelson outdoor recreation grant application D/A
23. Consideration of land use agreement between State Park and Town D/A
24. Consideration of broadband funding options D/A
25. Consideration to go out for bid for Islandview Road LRIP project D/A
26. Consideration of bids for garage doors for fire station and Chambers Island building D/A
27. Consideration of bids for slab for Chambers Island municipal storage/fire house building D/A
28. Consideration of bids for erection of Chambers Island municipal storage/fire house building D/A
29. Set date for roads review D/A
30. Set date for Chambers Island roads review D/A
31. 2024 excess fund balance allocations D/A
32. Set May meeting date D/A
33. Payment of Accounts D/A
34. Adjourn to closed session according to Wisconsin State Statutes 19.85(1)(g) D/A
Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved: property boundaries
35. Reconvene to open session pursuant to State Statute 19.85(2) to take any action(s) or adopt resolution on issues discussed in closed session D/A
36. Approve action(s) taken in closed session D/A
37. Adjourn D/A

/s/ Steve Sohns, Chair

DEVIATION IN ORDER MAY OCCUR

Posted April 4, 2025	<u>X</u>	Fish Creek Post Office
	<u>X</u>	Fish Creek BP
	<u>X</u>	Town Center Display Case
<hr style="width: 20%; margin-left: 0;"/> Laura Reetz, Clerk	<u>X</u>	Town Website

In compliance with the Americans with Disabilities Act, any person needing assistance to participate in this meeting, should contact the Office of the Town Clerk at (920) 868-1714. Notification 24 hours prior to a meeting will enable the Town to make reasonable arrangements to ensure accessibility to that meeting.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**Any item may have action taken unless otherwise specified*

Approved:

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**TOWN OF GIBRALTAR
REGULAR MONTHLY MEETING
WEDNESDAY, MARCH 5, 2024
GIBRALTAR TOWN CENTER
4097 HIGHWAY 42, FISH CREEK, WI 54212
7:00 PM**

Call to order: Chair Sohns called the regular meeting to order at 7:00 p.m.

Pledge of Allegiance:

Roll call/quorum: Board members present: Chair Sohns, Supervisor Merkel, Supervisor Birmingham, Supervisor Chomeau via Zoom and Supervisor Selenica via Zoom. Board member(s) absent: None.

Adopt agenda: Chair Sohns advised that the closed session listed as item 21 would not be held. *Motion (Birmingham/Merkel) to approve the agenda as amended, removing item 21. Carried.*

Approve minutes of previous meeting(s): *Motion (Selenica/Merkel) to approve minutes from January 27, 2025 Special Joint Meeting of Gibraltar Town Board and Plan Commission. Carried.*

Motion (Birmingham/Selenica) to approve minutes from February 5, 2025 Regular Monthly Meeting as amended on page 1 at line 38 and on page 3 at lines 38 and 41. Carried.

Parks and Lands: Buske reported Parks and Lands continue with ongoing discussions about Fish Creek Park and trails and grants requirements. Working on survey for CORP plan. Next CORP meeting March 18 after Parks and Lands Meeting.

Fire Department/EMR: Chief Bertges absent for training. Jayson Merkel presented written report. **February Call Volume:** 13 total calls, up from 10 in 2024. **Significant events:** Winterfest went well. Performed an ice rescue demo. No issues during the event. Single Vehicle accident on County A. Driver stated a bottle got caught under his pedal. Went off the road and hit a drainage culvert. The vehicle landed about 75' from where it left the ground. Minor injuries. Covered Sturgeon Bay while they were extinguishing a ship fire. Assisted in a motor vehicle accident. Provided traffic control for a Baileys Harbor motor vehicle accident. 3 injured. Responded to Baileys Harbor with a tender for a basement fire. Stood by and delivered no water. **Projects:** Preparing for another Community Emergency Response Team Class in April. Participated in a Basic Inland Search Class

Police Department: Chief Roesch absent for training. Treasurer read his report. Chief Roesch attended WCPA training covering legal updates etc. This training applies to WI mandatory training requirements. Took part in Fire Department's Search and Rescue training. CPR refresher was completed. Attended the Missing and Endangered Response Team Meeting, comprised of all law enforcement agencies in Door County. Looking into possibility of obtaining a drug take back drop-off location. Currently there are no locations north of Sturgeon Bay to dispose of prescription medication. Reviewed Lexipol policy updates.

VFC: Lancaster reported VFC is preparing for upcoming season with brochures, marketing and staffing. She and Jessica will be attending Wisconsin Governor's Conference on Tourism. Next event is Derby Days in May. Sara will be out of the office the month of April.

Noble House: Buske provided an update on upcoming events for the year. Several events are planned and focus is on the 150th celebration of the Noble House. Theme for 2025 is "Celebration," with plans to incorporate other celebrations into the 150th anniversary festivities. This will involve combining various celebrations into one grand event to honor the Noble House's history and its significant milestone.

Airport: Administration reported on status of hangar expansion project, removal of vacant building and status of County Zoning issues.

1 **Watershed:** No report.
2 **Plan Commission:** No report.
3 **Harbor Commission:** Harris reported Harbor Commission is making good progress on plan
4 design for the harbor. He also reported dock house floors are nearly complete and dock camera
5 installation is almost finalized.
6 **Door County Tourism Zone/Room Tax:** Treasurer reported room tax revenue saw a 7.59%
7 increase, which is significant for the Town's size. Tourism Zone working to resolve final
8 delinquent accounts, some of which are in Gibraltar. There have been preliminary conversations
9 about potentially developing a community sports center, potentially using room tax dollars to help
10 fund the project, alleviating the financial burden on individual communities.
11 **Building Committee:** No report.
12 **Door County Coastal Byways:** Reetz reported Committee met on February 10. Presentation by
13 Newport Wilderness Society on their amphitheater project. Will be printing more coloring books.
14 Next meeting March 24 at Gibraltar.
15 **Broadband report:** Steigenberger reported Committee met February 12. Project will not be
16 completed town-wide by October 2025. Project will be completed in 10 phases with a focus on the
17 underserved areas first. Hub will be placed on Sanitary District property. We will have a phase
18 map and timeline which will be shared with public. Next meeting March 19 at 2:00 p.m.
19 Birmingham added property owners can still sign up until work is completed in their area.
20 **County Board Representative Report:** Chomeau reported several resolutions were approved at
21 last County Board meeting including a resolution urging the Governor to support the County court
22 system and a resolution supporting increase in base funding for County Conservation staffing. She
23 reported County Board supported an Assembly Bill related to the Northern Sky Theater property
24 tax exemption and County Parks Department received a partnership award in recognition of their
25 Friends organization support of county parks. She advised the four topics being brought to the
26 legislature at Door County Legislative Days are supporting affordable housing, encouraging
27 business investment in childcare, promoting environmental and recreational protection, and
28 strengthening local healthcare systems.
29 **Clerk Report:** Reetz reported Town staff received a thank you note from VFC for assistance with
30 Winterfest. Spring primary went well with about 20% voter turnout. Next election is April 1.
31 Based on absentee ballots requested to date, she anticipates higher turnout. Board of Review
32 training materials have been uploaded to OneDrive.
33 **Treasurer Report:** Cain-Bieri advised all grant checks for Fish Creek Park acquisition have been
34 received and can be posted to 2024. She attended a WTA District Meeting and Board of Review
35 training and learned Gibraltar is one of a few municipalities that receives cost-sharing calculation
36 for general transportation aids. Since 2022 Town's road aids have increased by nearly \$100,000,
37 with some of the increase due to recent legislation but much of it due to the cost-share program.
38 **Administrator:** Thyssen reported on status of downtown design plan and municipal storage
39 building on Chambers Island. He also reported maintenance has completed approximately 75%
40 of the building committee repair list. He advised a capital improvement list is being put together.
41 He also responded to a question from Birmingham regarding green site sharing.
42 **Chairman:** Chair Sohns reported he had a TAC meeting this morning and they reviewed
43 legislative priorities. One topic at Legislative Days will be transportation aids. They will also be
44 working on public safety and EMS as well as land use issues and the Town Fix Bill. Sohns
45 responded to question from Birmingham about the meeting with towns on County Zoning. Will be
46 addressed in further detail under agenda item 17.

1 **Public Comment: Andrea** Kinsey-Jauquet addressed the Board about plan to make crosswalks
2 more visible. JR Schoenfeld, owner of Barringers addressed the Board about the consideration of
3 the Reserve "Class B" Liquor License transfer.

4 **Consideration of Reserve "Class B" Liquor License transfer from another municipality:**
5 Administration and Treasurer briefed the Board on process and procedure for transfer of license
6 from another municipality. Gibraltar has to make the request to the transferring municipality and
7 an application is what prompts the request. The Town will not be purchasing the license and the
8 Town will not make any profit from the transfer. Matt Sagorac addressed the Board on behalf of
9 Cut on Main LLC in support of its application for a "Class B" Liquor License. Supervisors Selenica
10 and Birmingham requested confirmation/clarification of procedure. *Motion (Chomeau/Selenica)*
11 *to move forward with request to Sevastopol for transfer of reserve license. Carried.*

12 **Consideration of Fish Creek Library proposal to add a wall drop slot:** Supervisors reviewed
13 proposal from library to add a wall drop slot for book return. Current placement exposes returned
14 books to water and rodents. Elisha Adelman addressed Board in support of proposal. Staff
15 recommend Town Board ask the Building Committee to look at the proposal and provide a
16 recommendation. *Motion (Birmingham/Selenica) directing Building Committee to research*
17 *proposal and bring their recommendation to the Board. Carried.*

18 **Consideration of updated lease agreement for Hangar C-2 with Jay Mahr:** Hangar C-2 lease
19 term expires in April. Airport Commission has approved renewal. *Motion (Merkel/Birmingham)*
20 *to approve renewal lease agreement for Hangar C-2 with Jay Mahr. Carried.*

21 **Consideration of Parks & Lands request to purchase fence for waterfront property:** Staff
22 request on behalf of Parks and Lands to consider funding for a fence along the east border of
23 waterfront property. Chair Buske made statement in support of request. Kinsey-Jauquet addressed
24 Board. *Motion (Merkel/Birmingham) to allocate funds for project and direct Committee to proceed*
25 *with purchase and installation in the 2025 season with cost not to exceed \$20,000. Carried.*

26 **Consideration of Plan Commission cross walk recommendation:** Plan Commission
27 recommendation to approve and implement recommendation for first stage of plan to make
28 pedestrian cross walks more visible to drivers. Supervisors discussed importance of making all
29 crosswalks uniform in paint and style. *Motion (Selenica/Chomeau) to approve and implement Plan*
30 *Commission recommendation for first stage of plan to make pedestrian cross walks more visible*
31 *to drivers including: standardizing cross walks with ladder lines and installing signage at missing*
32 *locations. Carried.*

33 **Authorization to write trail grant for 2.25 million:** Staff request for authority to assist in writing
34 a trail grant for 2.25 million for design and engineering of approximately 8 miles of off-road and
35 adjacent road trail on Highway 42 corridor in the State Park and Highway 42 up to Northhaven.
36 *Motion (Birmingham/Merkel) to approve request to write trail grant. Carried.*

37 **Consideration of bids for Islandview-Juddville Intersection Reconstruction:** RFP was
38 published and two bids were received. Based upon Engineer's analysis of received bids, responsive
39 low bidder is Vinton Construction Company for \$63,348.02. Dennis Steigenberger addressed the
40 Board and advised of contingencies that can be removed via change orders, reducing overall
41 contract price to \$56,564.02. *Motion (Sohns/Birmingham) to award bid to Vinton Construction*
42 *Company for Islandview-Juddville Intersection Reconstruction for \$63,348.02 with contingency*
43 *deduction of \$6,784.00 for a total contract price of \$56,564.02. Carried.*

44 **Authorization to solicit bids for fire station and Chambers Island municipal building garage**
45 **doors/set special meeting to award bid:** Staff request to solicit bids for fire station and municipal
46 building garage doors. Staff recommends combining both projects to achieve cost savings,
47 replacing doors on fire station and using old fire station doors on Chambers Island municipal
48 building. *Motion (Sohns/Chomeau) authorizing staff to combine project and solicit bids for*

1 *replacement fire station doors with one row of windows and installation of old doors on Chambers*
2 *Island municipal building. Carried.*

3 **Consideration of financing for broadband project:** Treasurer presented Finance Committee
4 recommendation to take out a 15-year note with Nicolet Bank to finance broadband project. *Motion*
5 *(Merkel/Selenica) to take out 15-year note in amount of \$5,175,000 with Nicolet Bank for*
6 *broadband project. Carried.*

7 **Set date for County Zoning workshop:** Chair Sohns gave brief summary of February 26 meeting
8 with Jacksonport, Liberty Grove and Baileys Harbor. The towns all have concerns similar to
9 Gibraltar's. Need to schedule workshop with Board to review and discuss issues and then schedule
10 meeting with County Zoning. Workshop scheduled for March 24, 2025 at 5:00 p.m.

11 **April meeting date:** Regular meeting date moved to April 9, 2025 due to April 1 election.

12 **Approve Board of Review and Open Book Dates: Supervisors** discussed proposed dates. Open
13 Book set for May 7, 2025 from 2-4 p.m. and Board of Review scheduled for May 27 from 5:30 to
14 7:30 p.m.

15 **Payment of Accounts:** Motion *(Birmingham/Merkel) to approve payment of bills. Carried.*

16 **Adjourn:** Motion *(Merkel/Birmingham) to adjourn at 8:56 p.m. Carried*

17

18 Respectfully submitted,

19

20 Laura Reetz, Clerk

Approved:

**TOWN OF GIBRALTAR
SPECIAL WORKSHOP
COUNTY ZONING
MONDAY, JUNE 24, 2024
GIBRALTAR TOWN CENTER
4097 HIGHWAY 42, FISH CREEK WI 54212
5:00 p.m.**

Call to order: Chair Sohns called the special meeting to order at 5:00 p.m.

Roll call/quorum: Chair Sohns, Supervisor Chomeau (excused at 6:08 p.m.), Supervisor Merkel, Supervisor Birmingham and Supervisor Selenica via zoom.

Also present: Travis Thyssen

Agenda/proper notice/adopt agenda: Motion (*Birmingham/Chomeau*) to approve the agenda as posted. Carried.

Workshop to Discuss County Zoning: Thyssen introduced purpose of meeting, reviewed the topics to be covered and explained objectives of workshop. Supervisors were provided handouts prepared by Linda Merline and Administration. Thyssen explained objectives of workshop.

Breakdown of zoning concerns:

Thyssen provided examples wherein there have been breakdowns in communication/joint cooperation with the County, citing enforcement issues, long wait times for permits and hearings, and inconsistent application of rules. Chomeau provided an explanation of the processes at the County level which often account for what appears to be delays.

Chair Sohns advised bill was passed that allows for withdrawal from County Zoning. He stated there are other towns in Door County experiencing the same/similar issues and gave a summary of the discussions at February 26, 2025 meeting with Jacksonport, Baileys Harbor and Liberty Grove. He briefly explained what a withdrawal from County Zoning *could* look like.

Supervisors discussed current issues with the County zoning including the lack of follow-through after decisions are made and the difficulty in enforcing zoning regulations. Key issues continue to be monitoring of conditional use permits, enforcement of violations, and need for zoning that better fits Gibraltar's needs. Supervisors discussed Gibraltar's zoning overlays. One concern is that RPC doesn't necessarily know or understand Gibraltar's Comprehensive and long-range plans. Supervisors discussed options such as breaking away from County zoning, possibly in consortium with other towns, or working with County to improve staffing and processes. Various options for improving situation at County level were suggested, including creation of a Northern Door RPC, or having a dedicated office in the northern part of the county.

Public Comment: Bill Weddig, Brian Hackbarth and Wayne Kudick addressed the Board and made statements as to their past experience with zoning concerns. Wedding also asked if County planning recognizes the need for more staff, or if they've been constrained by budget limitations. Sara Lancaster and Linda Merline also addressed the Board. Lancaster

stressed importance of looking at how zoning regulations are enforced and communicated, issue isn't just about what conditions are applied, but how conditions are enforced and communicated to the public. She noted that past issues, like restrictions on home businesses in rural areas, could now help achieve current goals, such as supporting agribusiness and agritourism. She encouraged focusing on solutions and processes, rather than limiting options. Merline identified concerns within the Table of Principal Uses and recounted difficulty the Town had obtaining lists of home businesses from the County due to undigitized records that were stored in file cabinets. She noted the Board tasked Plan Commission with reviewing Tables of Principal Uses and zoning district descriptions. Commission will discuss these areas first, then address issues like home businesses and temporary uses, which have been past concerns for Gibraltar. The goal is to improve zoning to better suit Gibraltar's needs. She also noted improvements in County Zoning, including the 28-day review process for Town input.

Cost analysis: Board reviewed analysis of anticipated costs associated with withdrawing from County Zoning. Costs would include additional staff, training, office equipment, GIS mapping, computer software and creation of a zoning ordinance to name a few.

Expectations summary: Supervisors discussed need to articulate specific goals and recommendations to improve County Zoning prior to meeting with County.

Next steps: At request of other towns, Thyssen sent a letter to the County, expressing interest in learning about County's plans for future changes, particularly in zoning. County responded and expressed a desire to meet and begin a dialogue, either one-on-one or with other Towns. Birmingham emphasized need to set specific goals and recommendations for zoning improvements. Without clear objectives, the meeting could turn into a series of grievances. Thyssen will prepare a goal and recommendation sheet for Supervisors to review at next meeting. Once agreed upon, it can be shared with other towns to make sure talking points are covered before meeting with County.

Adjourn: *Motion (Merkel/Birmingham) to adjourn at 6:18 pm. Carried.*
Respectfully submitted,

Laura Reetz, Clerk

To: Town Board
From: Staff

Request:

Special Event Request: Peninsula Gun Club 65th Anniversary Celebration on June 14, 9 am to 7 pm (Rain Date: June 21)

Background:

The Peninsula Gun Club is requesting approval for a special event in celebration of its 65th anniversary, which will take place on June 14, 2025, from 9 am to 7 pm, with a rain date of June 21. The event will feature a cookout, a live band from 1 pm to 4 pm, and various games and activities, such as an introduction to shooting, a bounce house, children's games, an obstacle course, and a dunk tank. An outdoor tent will be set up to accommodate guests. Additionally, the Peninsula Gun Club has applied for a Temporary "Class B" Wine License for the event and completed all necessary paperwork and paid the license fee. It currently holds a Class "B" Retailers' License.

Analysis:

The Peninsula Gun Club typically operates on Wednesdays from 7 pm to 10 pm and on Saturdays and Sundays from 9 am to 12 pm. As a private club, membership or a daily pass is required for access. However, the 65th Anniversary Celebration is open to the public and will take place outside the club's normal business hours. Events held outside of normal operating hours require a special event request and approval from the Town Board.

The event will feature food, beverages (including beer and wine), entertainment, and various activities. Alcohol will be stored and served in a secure area, with bartenders managing service. The bartenders have operator licenses. Access to alcohol will be strictly controlled, and guests will not have unrestricted access to alcoholic beverages. The alcohol will only be served in a monitored and secure environment.

Recommendation:

After reviewing the request with law enforcement, staff recommends approval of the special event request.

Fiscal Impact:

None.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: PENINSULA GOLF CLUB INC
 Address: 3702 Juddville Rd
Fish Creek, WI 54212
 Phone: 920-868-3509

Requestor/Agent Name: William Pinkham
 Phone: 920-421-1287

TYPE OF REQUEST

Temp License (Beer) (Wine) WINE - Temporary Permit
 Direct Sales: _____
 Use of Town Property: _____
 Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: 65TH ANNIVERSARY CELEBRATION
 Date(s) of Event: JUNE 14, 2025 (June 21 Raindate)
 Time(s) of Event: 9am - 7pm
 Site Location: PENINSULA GOLF CLUB PROPERTY - 3702 Juddville Rd
 Alternative Site: _____

Fundraiser? Yes X No _____
 Funds Recipient: PENINSULA GOLF CLUB
 Address: 3702 Juddville Rd.
Fish Creek, WI. 54212
 Phone: 920-868-3509

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

INTRODUCTION TO SHOOTING - BOUNCE HOUSE - OBSTACLE COURSE
BOUNCE HOUSE - MISC - KIDS GAMES - BASKETBALL 1-4 - DUNK
TANK - COOK OUT - MAIN TENT BAND

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
 ACCEPTED: _____ Permit Number Issues by Clerk _____
 NOT ACCEPTED: _____ Fee required _____
 REASON: _____

To: Town Board

From: Town Staff

Request:

This is an amended request from VFC requesting to have a face painter and henna tattoo artist at the Family Night Concert on August 1.

Background:

The Board previously approved the request for the Friday concerts on 05/23/25, 06/06/25, 06/20/25, 07/18/25, 08/01/25, 08/15/25 & 08/29/25.

Analysis:

The request to include a face painter and henna tattoo artist at the Family Night Concert on August 1, 2025 will enhance the event by providing additional family-friendly entertainment. The amendment does not substantially change the original request for the concert series. There are no anticipated negative impacts on the community, as face painting and henna tattoos are generally well-received at such events.

Recommendation:

Staff has reviewed this request and recommends approval.

Fiscal Impact:

No fiscal impact.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

*2ND REVISION

SPECIAL EVENT REQUEST

Organization Name: Visit Fish Creek
Address: PO Box 74
Fish Creek WI
Phone: 920-868-2316

Requestor/Agent Name: Jessica Murphy
Phone: 920-365-6686

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: Fish Creek Beach, backup Old Town Hall, and banner post
Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: Fish Fri Concert Series
Date(s) of Event: Fridays; 05/23/25, 06/06/25, 06/20/25, 07/04/25, 07/18/25,
Time(s) of Event: 08/15/25 & 08/29/25 // 5pm-7pm
Site Location: Fish Creek Beach
Alternative Site: Old Town Hall

Fundraiser? Yes _____ No _____
Funds Recipient: _____
Address: _____
Phone: _____

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

Continue the Fish Fri Concert Series the same as last year on Fish Creek Beach

Requesting to have a face painter and henna tattoo artist at our Family Night Concert on August 1st. .

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____

ACCEPTED: _____ Permit Number Issues by Clerk _____

NOT ACCEPTED: _____ Fee required _____

REASON: _____

To: Town Board

From: Staff

Request:

Request from VFC to place a banner in Noble Square to promote Derby Days event on May 3rd.

Background:

Derby Days was introduced in 2024. The event, centered around the Kentucky Derby, includes activities such as themed parties, local food and drink specials, games, and entertainment. Its primary goals are to boost tourism, support local businesses, and enhance community engagement in Fish Creek.

Analysis:

VFC works directly with the Town of Gibraltar staff and Town Board to promote activities in the Town.

Recommendation:

Staff has reviewed the special event request and supports the request.

Fiscal Impact:

No fiscal impact to the town.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: Visit Fish Creek
Address: PO Box 74
Fish Creek WI
Phone: 920-868-2316

Requestor/Agent Name: Jessica Murphy
Phone: 920-365-6686

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: Banner at Noble Squire
Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: Derby Days
Date(s) of Event: Saturday, May 3rd
Time(s) of Event: 10am -10pm
Site Location: Various businesses around town
Alternative Site: _____

Fundraiser? Yes _____ No _____
Funds Recipient: _____
Address: _____
Phone: _____

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

Requesting to post a banner in Noble Square to promote our Derby Days event

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____

ACCEPTED: _____ Permit Number Issues by Clerk _____

NOT ACCEPTED: _____ Fee required _____

REASON: _____

To: Town Board

From: Staff

Request:

Special event request from Gibraltar Historical Association for Door County Spinners spinning demonstration at Noble Square on May 25 and June 21 from 10 am to 3 pm. Additionally, DC Alpacas will do live shearing demonstrations on June 21 and 180 Flower Petals may bring baby lambs on one of the dates. GHA is requesting a banner at the corner of Bluff and Highway 42, a banner in the gazebo and one sandwich board to advertise the event.

Background:

The Gibraltar Historical Association holds at least one outdoor yearly event as part of its Living History.

Analysis:

The requested banners and sidewalk sign will promote the events and guide attendees to Noble Square. The event will offer hands-on learning about spinning and alpaca care, with the addition of baby lambs making the event more interactive and appealing for families. The event does not substantially impact the surrounding area and aligns with the GHA's goal of promoting local history.

Recommendation:

Staff has reviewed the special event request and would support this request.

Fiscal Impact:

No fiscal impact for the Town. It is a fundraising event for the Association.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: Gibraltar Historical Association
Address: 4167 MAIN STREET
Fish Creek, WI 54212
Phone: 920-868-2091

Requestor/Agent Name: LAURIE BUSKE
Phone: 920-559-6734

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: Noble Square
Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: DOOR COUNTY SPINNERS
Date(s) of Event: MAY 25, JUNE 21
Time(s) of Event: 10-3:00
Site Location: NOBLE SQUARE
Alternative Site: NONE

Fundraiser? Yes X No _____
Funds Recipient: GHA
Address: ABOVE
Phone: _____

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

DC SPINNERS will do spinning demonstrations at Noble Square on MAY 25th DC ALPACAS will join in and do live shearing on JUNE 21st 180 FLOWER PETALS MAY BRING BABY LAMBS (4TBD)
Request: 1 BANNER AT CORNER, 1 in Gazette, 1 sidewalk sign.

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
ACCEPTED: _____ Permit Number Issues by Clerk _____
NOT ACCEPTED: _____ Fee required _____
REASON: _____

To: Town Board

From: Staff

Request:

Special Event request from Peninsula Pacers for use of Clark Park during the Century Fall Challenge on September 13, 2025

Background:

This is a reoccurring event. Peninsula Pacers utilize Clark Park for a rest area and bathroom stop.

Analysis:

Peninsula Pacers will utilize Clark Park as a rest stop between the hours of 7:30 am and 9:30 am on September 13, 2025. They are requesting the use of two 10 x 10 tents, 4-5 porta potties and coroplast signs. This is not a start or stop location, but a rest area during the event. Staff has approved this event in the past.

Recommendation:

Staff has reviewed the request and recommends approval.

Fiscal Impact:

There is no fiscal impact for this request.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: Peninsula Pacers
Address: 8142 Hwy 57
Baileys Harbor, WI 54202
Phone: 920-421-1518

Requestor/Agent Name: Brian Fitzgerald
Phone: 920-421-1518

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: Clark park
Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: Peninsula Centruy Fall Challenge
Date(s) of Event: Saturday September 13th 2025
Time(s) of Event: 7:30 am - 9:30 am
Site Location: Clark park
Alternative Site: _____

Fundraiser? Yes x No _____
Funds Recipient: Climate Change Coalitions of Door County
Address: PO Box 334
Baileys Harbor, WI 54202
Phone: 920-217-4304

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:
Rest stop for bike ride. Two 10x10 tents and 4-5 porta potties and coroplast signs.

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
ACCEPTED: _____ Permit Number Issues by Clerk _____
NOT ACCEPTED: _____ Fee required _____
REASON: _____

To: Town Board
From: Staff

Request:

Approval of special event request for Friends of Gibraltar- Peninsula Pacers 4th of July Hairpin 5 K walk/run.

Background:

This is an annual event and has been a FOG fundraiser for 35 years. The event starts at Noble Square and proceeds south up Highway 42. At the top of the hill the course turns down Gibraltar Bluff Road and Cottage Row, ending on Main Street. The event includes a request for use of Noble Square Park, barricades at Cottage Row and Main Street and flagging at Rummele's entrance and green space. The event closes Highway 42 for approximately ½ hour and requires assistance from the County, as well as Town Police and Fire departments.

In previous years there were issues with congestion, parking and safety. However, prior to the 2023 event, event coordinators met with staff to address those concerns. The result was a very controlled event with safety protocols put into place and the last two years' events have been successful.

Analysis:

The Friends of Gibraltar-Peninsula Pacers 4th of July Hairpin 5K Walk/Run is a well-established annual event that brings both local and non-local participants to Fish Creek, boosting the local economy. Over the years, safety and logistical issues, such as congestion and parking, have been addressed through improved planning and coordination with Town staff, law enforcement and the fire department.

Recommendation:

Staff has reviewed request with law enforcement and the fire department. Staff recommends approval of the request and recommends imposing a \$25 fee for fire department services as well as a \$25 fee for law enforcement services and a \$25 fee for public works.

Fiscal Impact:

Public safety services for law enforcement and fire department as well as Town maintenance.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: Friends of Gibraltar - Peninsula Pacers
Address: 8142 Hwy 57
Baileys Harbor, WI 54202
Phone: 920-421-1518

Requestor/Agent Name: Brian Fitzgerald
Phone: 920-421-1518

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: Noble Square Park-Rd Closures Main to Gibraltar Bluff - 7:50am-8:20am
Temp. Structure Permit: barricade Cottage Rd at Main 8am - 9am - Flagging at Rummele's entrance and green space

EVENT INFORMATION

Event Name: Hairpin Run/Walk 5k
Date(s) of Event: July 4th, 2025
Time(s) of Event: setup 6 am - teardown 9:30am
Site Location: see attached map
Alternative Site: _____

Fundraiser? Yes No
Funds Recipient: Friends of Gibraltar
Address: 3924 State hwy 42
Fish Creek, WI 54212
Phone: 920-421-1687

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

FOG Fundraiser over 35 years - will work closely with local police, fire, and emergency services to conduct a safe and timely event. Neighbor notifications will be sent out to property owners on 5k course.

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
ACCEPTED: _____ Permit Number Issues by Clerk _____
NOT ACCEPTED: _____ Fee required _____
REASON: _____

To: Town Board
From: Staff

Request:

Special event request from Peninsula Pacers on behalf of National MS Society for MS Challenge Walk on September 26.

Background:

This is a reoccurring event request. This event has a start location at Clark Park. They are requesting use of the Park from 8 am to 9 am, and placement of a 10 x 10 tent, three porta potties and coroplast signs.

Analysis:

The event coordinators work directly with staff. The event is a big draw and has a positive economic impact on the businesses in Fish Creek.

Recommendation:

Staff has reviewed the request and recommend approval.

Fiscal Impact:

This request has no fiscal impact on the Town.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: National MS Society- Peninsula Pacers
Address: 8142 HWY 57
Baileys Harbor, WI 54212
Phone: 920-421-1518
Requestor/Agent Name: Brian Fitzgerald
Phone: 920-421-1518

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: Clark Park
Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: MS Challenge Walk
Date(s) of Event: Friday September 26th, 2025
Time(s) of Event: 8am-9am
Site Location: Clark Park
Alternative Site: _____

Fundraiser? Yes No _____
Funds Recipient: National MS Society
Address: 2829 University Ave Suite 900
Minneapolis, MN 55414
Phone: 262,369,4435

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

Clark Park- start location for day 1 of 50 mile walk fundraiser. 10'x10' tent - 3 porta potties and coroplast signs

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
ACCEPTED: _____ Permit Number Issues by Clerk _____
NOT ACCEPTED: _____ Fee required _____
REASON: _____

To: Town Board
From: Town Staff

Request:

Approval of Special Event request from Peninsula Pacers to utilize the overflow parking lot for pick-up and drop-off services during the Door County Beer Fest on June 14 from 10:30 am to 5:00 pm and Door County Wine Fest on June 21 from 10:30 am to 5:00 pm.

Background:

Peninsula Pacers has requested the use of the Town's overflow parking lot as a drop-off and pick up location for shuttle service to Door County Beer Fest and Door County Wine Fest, both of which are held at About Thyme Farm in Baileys Harbor. The Peninsula Pacers provide shuttle services to and from Sister Bay, Ephraim, Baileys Harbor, Fish Creek, and Egg Harbor. This request has been approved by the Town Board in the past.

Analysis:

In previous years, the use of the parking lot has not been without issues. There have been concerns regarding intoxicated individuals in the parking lot, as well as littering, such as discarded cans and cups. Law enforcement has raised concerns about intoxicated persons getting into their cars after being dropped off at the Town parking lot.

Recommendation:

Staff recommend approval of Peninsula Pacers' request with the following conditions:

- "No Carry-On Alcoholic Beverages" signage posted on shuttle divers prohibit carry-ons;
- Event sponsors will be responsible for cleaning up the parking lot after the event. Should town maintenance be required to clean the lot, a fee will be assessed.
- Future shuttle requests may be denied if cleaning is not adequately completed or if similar issues occur again

Fiscal Impact:

There is no fiscal impact to the Town for this request unless the Town maintenance is required to clean the parking lot after the event, in which case a fee will be assessed to the event organizers.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: Peninsula Pacers
Address: 8142 Hwy 57
Baileys Harbor, WI 54202
Phone: 920-421-1518

Requestor/Agent Name: Brian Fitzgerald
Phone: 920-421-1518

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: overflow parking lot - shuttle pickup
Temp. Structure Permit: dropoff

EVENT INFORMATION

Event Name: Door County Beer Fest - Door County Wine Fest
Date(s) of Event: June 14th and June 21st
Time(s) of Event: 10:30am - 5 pm
Site Location: overflow parking lot
Alternative Site: _____

Fundraiser? Yes _____ No _____
Funds Recipient: _____
Address: _____
Phone: _____

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

Both festivals will be held at about thyme Farm in Baileys Harbor- we provide a shuttle service to Sister Bay -Ephraim - Baileys Harbor - Fish Creek, and Egg Harbor

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
ACCEPTED: _____ Permit Number Issues by Clerk _____
NOT ACCEPTED: _____ Fee required _____
REASON: _____

To: Town board
From: Town staff

Request:

Tracy Alpert and Michelle Gentine "Explosions of Fun" firework and private party event July 2, 2025. Fireworks permit, use of Clark Park and partial closure of Spruce and Cedar.

Background:

This is an annual event the town has approved in previous years. Food and beverages, including alcoholic beverages, will be provided by Alexander's to VIP donors with wristbands. Private security will be provided by event sponsor. Fireworks will be provided by Spielbauer and they plan to have live music provided by Big Mouth.

Analysis:

The Town Board has approved this event in the past. In previous years there have been issues with and security and underage drinking. Public Safety requested a meeting with event sponsors which was held April 4 to discuss concerns such as security, traffic control, enforcement of wristband policy and underage drinking control. Big Mouth booking will be finalized upon event request approval from Town. Firework paperwork, insurance documents and site map will be provided once event request is approved by Town.

Recommendation:

Staff has reviewed this request with Chief Roesch and Chief Bertges and recommend approval of the request provided conditions requested by public safety are implemented by event sponsors. Staff recommends imposing a \$25 fee for fire department services as well as a \$25 fee for law enforcement services. Staff and public safety recommend additional security measures and better beverage distribution oversight as well as signage to keep Spruce Street open to traffic.

Fiscal Impact:

Public safety services for law enforcement and fire department.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name:

Address:

Phone:

Requestor/Agent Name:

Phone:

Explosions of Fun

PO Box 157

Green Bay, WI 54305-0757

TRACY Alpert 920-265-1212 Michelle Gentine

TRACY Alpert Michelle Gentine 920-254-4187

920-265-1212

920-254-4187

TYPE OF REQUEST

Temp License (Beer) (Wine)

Direct Sales:

Use of Town Property:

Temp. Structure Permit:

Alexanders will cater food + beverages to VIP donors only.

EVENT INFORMATION

Event Name:

Date(s) of Event:

Time(s) of Event:

Site Location:

Alternative Site:

Fundraiser? Yes

No

Funds Recipient:

Address:

Phone:

Explosions of Fun

Wednesday, July 2nd, 2005

5:30pm food + drinks, 6:15 band, fireworks at dusk

Cedar Ct from Maple Street to Spruce St.

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

Security will be provided. Catering is only for VIP donors with wristbands. Spielbruers to provide fireworks, Bigmouth Band is on hold until we get approval from town of Gibraltar, fireworks permit + insurance will be provided prior to event and upon town approval.

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department

Law Enforcement

Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on:

ACCEPTED:

NOT ACCEPTED:

REASON:

Permit Number Issues by Clerk

Fee required

**TOWN OF GIBRALTAR
PERMIT TO DISCHARGE FIREWORKS**

167.10 Regulation of fireworks. (a portion of the Wisconsin State Statutes)

(1) DEFINITION. In this section, "fireworks" means anything manufactured, processed or packaged for exploding, emitting sparks or combustion which does not have another common use, but does not include any of the following:

- (a) Fuel or a lubricant.
- (b) A firearm cartridge or shotgun shell.
- (c) A flare used or possessed or sold for use as a signal in an emergency or in the operation of a railway, aircraft, watercraft or motor vehicle.
- (d) A match, cigarette lighter, stove, furnace, candle, lantern or space heater.
- (e) A cap containing not more than one-quarter grain of explosive mixture, if the cap is used or possessed or sold for use in a device which prevents direct bodily contact with a cap when it is in place for explosion.
- (f) A toy snake which contains no mercury.
- (g) A model rocket engine.
- (h) Tobacco and a tobacco product.
- (i) A sparkler on a wire or wood stick not exceeding 36 inches in length that is designed to produce audible or visible effects or to produce audible and visible effects.
- (j) A device designed to spray out paper confetti or streamers and which contains less than one-quarter grain of explosive mixture.
- (k) A fuseless device that is designed to produce audible or visible effects or audible and visible effects, and that contains less than one-quarter grain of explosive mixture.
- (L) A device that is designed primarily to burn pyrotechnic smoke-producing mixtures, at a controlled rate, and that produces audible or visible effects, or audible and visible effects.
- (m) A cylindrical fountain that consists of one or more tubes and that is classified by the federal department of transportation as a Division 1.4 explosive, as defined in [49 CFR 173.50](#).
- (n) A cone fountain that is classified by the federal department of transportation as a Division 1.4 explosive, as defined in [49 CFR 173.50](#).
- (p) A novelty device that spins or moves on the ground.

✦ If your fireworks display consists of anything other than those items listed above, you MUST obtain a permit from the Town of Gibraltar for their display. Proof of liability insurance to cover this event which will indemnify other persons for any injuries to person or property, arising out of the use of the fireworks is required by the requestor.

Name Tracy Alpert Address PO Box 757 GBWI 54305 Phone 920-265-1212

Kind and quantity of fireworks purchased:

Spielbauers will provide all paperwork, site map & insurance

Date and location of use: Wednesday, July 2nd, 2025 once approved by town.
over water

I have read the State Statutes that apply to issuance of this permit.

Tracy Alpert 03-18-2025
Requestor Signature & date

Town Chairman & date

Fire Chief/Asst. Chief & date

To: Town Board
From: Staff

Request:

Special event request from Spruce & Shore Motel for a Ribbon Cutting Ceremony on May 3, 2025, from 1 pm to 5 pm at 9479 Spruce Street, Fish Creek.

Background:

Spruce & Shore Motel is requesting approval for a food truck at their friends and family private ribbon-cutting ceremony to celebrate the opening of their business location. The event will take place on Saturday, May 3, 2025, from 1 pm to 5 pm at 9479 Spruce Street, Fish Creek. This private event will be attended by friends and family of the owners. Sergio's Mexican Food Truck will provide food for guests only during the event.

Analysis:

This request is for a private event, with no public access or extended hours of operation. There will be no additional activities beyond the ribbon cutting and food service. Sergio's Mexican Food Truck will be present solely for the guests of the event. No other special requests such as live music, banners, or signage are included in this event request. A certificate of liability insurance has been provided for the food truck, naming the Town of Gibraltar as an additional insured party.

Recommendation:

Staff has reviewed this request and recommends approval of the event.

Fiscal Impact:

None.

TOWN OF GIBRALTAR

P O Box 850 * Fish Creek WI 54212 * 920-868-1714

SPECIAL EVENT REQUEST

Organization Name: The Refresh Collection (Spruce & Shore Motel)
Address: 9479 Spruce Street Fish Creek, WI 54212

Phone: (920) 868-3448

Requestor/Agent Name: Katie Wanzer
Phone: (262) 422-0485

TYPE OF REQUEST

Temp License (Beer) (Wine) _____
Direct Sales: _____
Use of Town Property: _____
Temp. Structure Permit: _____

EVENT INFORMATION

Event Name: Spruce & Shore Motel Ribbon Cutting Ceremony
Date(s) of Event: Saturday, May 3, 2025
Time(s) of Event: 1 pm to 5 pm
Site Location: 9479 Spruce Street Fish Creek, WI 54212
Alternative Site: _____

Fundraiser? Yes _____ No **X** _____
Funds Recipient: _____
Address: _____

Phone: _____

EVENT DESCRIPTION

Please supply any additional information about your event that would be helpful to the Town of Gibraltar in reviewing your request:

We will be having a private ribbon cutting event with friends and family on Sat., May 3 from 1 to 5 p.m. with Sergio's Mexican Food Truck supplying food to our guests only.
~~3 from 1 to 5 p.m. with Sergio's Mexican Food Truck supplying food to our guests only.~~

TOWN RESOURCES

Please indicate if you need municipal services*

Circle all needed:

Fire Department Law Enforcement Public Works

*There may be a \$25 fee/department charged for municipal services,

GIBRALTAR TOWN BOARD ACTION

Request heard at meeting on: _____
ACCEPTED: _____ Permit Number Issues by Clerk _____
NOT ACCEPTED: _____ Fee required _____
REASON: _____



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

03/31/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Next First Insurance Agency, Inc. PO Box 60787 Palo Alto, CA 94306	CONTACT NAME: PHONE (A/C. No. Ext): (855) 222-5919		FAX (A/C. No):
	E-MAIL ADDRESS: support@nextinsurance.com		
INSURER(S) AFFORDING COVERAGE			NAIC #
INSURER A: Next Insurance US Company			16285
INSURED Sergio Rojas Sergio Rojas DBA Sergio's Street Food 310 Idaho St Oshkosh, WI 54902	INSURER B:		
	INSURER C:		
	INSURER D:		
	INSURER E:		
	INSURER F:		
	INSURER G:		

COVERAGES

CERTIFICATE NUMBER: 282032791

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	X		NXTWY4YFJW-00-GL	03/31/2025	03/31/2026	EACH OCCURRENCE \$1,000,000.00
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000.00						
							MED EXP (Any one person) \$15,000.00
							PERSONAL & ADV INJURY \$1,000,000.00
							GENERAL AGGREGATE \$2,000,000.00
							PRODUCTS - COMP/OP AGG \$2,000,000.00
							\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$
							BODILY INJURY (Per person) \$
							BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
							\$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$
							AGGREGATE \$
							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N <input checked="" type="checkbox"/> N/A (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The Certificate Holder is Town of Gibraltar. This Certificate Holder is an Additional Insured on the General Liability policy per the Additional Insured Automatic Status Endorsement. All Certificate Holder privileges apply only if required by written agreement between the Certificate Holder and the insured, and are subject to policy terms and conditions.

CERTIFICATE HOLDER
 Town of Gibraltar
 PO Box 850
 Fish Creek, WI 54212
LIVE CERTIFICATE[Click or scan to view](#)**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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To: Town Board

From: Staff / Parks and lands

Request:

Consideration of approval to conduct land surveying lot line identification FEMA wetland marking and identifying a trail route to wandering road that complies with multiple agency setbacks and requirements.

Background:

The Town has acquired the Redmann property, this new property abuts the Buntrock property and along the south line of FEMA flood zone. Inside this southeastern corner it is dense with grass trees and wetlands. A proposal from a college engineering team identified a potential extension across the wetlands to the entrance of wandering road.

Town of Gibraltar Parks and Lands reviewed a proposal from Stantec to survey the property, identify the lot lines, FEMA flood lines and identify a prospective trail route across the wetlands that the parks and lands committee could review for future trail connections.

Analysis:

Stantec has been active with the watershed assisting the Town with acquisition of the property and additional stream enhancement grants, they are familiar with the area and have a survey team locally that can assist with identifying the lot lines and FEMA flood zones.

The survey will assist with all future plans and help identify the park boundaries, helping avoid trespassing.

Recommendation:

Parks and lands have reviewed the proposal and has recommended asking the Town Board to authorize the project.

Fiscal Impact:

The Parks and Lands committee authorized the use of \$2000.00 from the Fish Creek part of their budget. The remaining \$4,000 will be taken from the general fund.



Stantec Consulting Services Inc.
312 N 5th Ave Sturgeon Bay WI 54235

Date: February 4, 2025

Stantec Consulting Services Inc. (Stantec) shall provide professional services for the following:

Client Contact Information:

Town of Gibraltar
c/o Travis Thyssen
4097 Highway 42
PO Box 850
Fish Creek, WI 54212

Email: tthyssen@gibraltarwi.gov

Property / Project Description:

Concept Boardwalk Planning Efforts- Town Park

Scope of Work:

Concept planning for boardwalk crossing wetland:

Stantec would complete the following preliminary efforts:

1. Field survey the 25-foot setback to the south lot line (closest a structure can be placed per County zoning) as well as the current FEMA jurisdictional line of the floodplain limits.
2. Walk the route with Town staff/committee members and establish a preferred trail route.
3. Map the preferred boardwalk location.
4. Discuss preliminary design approach with DNR staff and County Zoning Dept.
5. Provide Town our recommended final design and permitting approach.

Proposed fixed fee cost for items 1-5: \$6,000

The goal of this concept planning scope is to determine the desired boardwalk route and determine the final DNR/County permitting approach.

A separate proposal will be provided to include a final civil plan set for site improvements and obtaining DNR approvals for the boardwalk and trail system.

Additional Services:

No additional services or deliverables other than those specifically identified above are included in the Scope of Work. If items outside the above-mentioned Scope of Work are found to be required, Stantec can provide you with additional professional services as an amendment to this contract.

Contracting

Stantec will provide these services on a fixed fee basis. Stantec will invoice monthly, based on the amount of work complete. Payment terms will be 30 days upon receipt. Any applicable state and local taxes are not included.

By signing this proposal, the Client authorizes Stantec to proceed with the services herein described and the Client acknowledges that it has read and agrees to be bound by the attached Professional Services Terms and Conditions.

This proposal is accepted and agreed on the below date:

Town of Gibraltar

Print Name & Title

Signature

Date

The following Terms and Conditions are attached to and form part of a proposal for services to be performed by Consultant and together, when the Client authorizes Consultant to proceed with the services, constitute the Agreement. Consultant means the Stantec entity issuing the Proposal.

DESCRIPTION OF WORK: Consultant shall render the services described in the Proposal (hereinafter called the "Services") to the Client.

TERMS AND CONDITIONS: No terms, conditions, understandings, or agreements purporting to modify or vary these Terms and Conditions shall be binding unless hereafter made in writing and signed by the Client and Consultant. In the event of any conflict between the Proposal and these Terms and Conditions, these Terms and Conditions shall take precedence. This Agreement supercedes all previous agreements, arrangements or understandings between the parties whether written or oral in connection with or incidental to the Project.

COMPENSATION: Payment is due to Consultant upon receipt of invoice. Failure to make any payment when due is a material breach of this Agreement and will entitle Consultant, at its option, to suspend or terminate this Agreement and the provision of the Services. Interest will accrue on accounts overdue by 30 days at the lesser of 1.5 percent per month (18 percent per annum) or the maximum legal rate of interest. Unless otherwise noted, the fees in this agreement do not include any value added, sales, or other taxes that may be applied by Government on fees for services. Such taxes will be added to all invoices as required. The Client will make payment by Electronic Funds Transfer when requested by Consultant.

NOTICES: Each party shall designate a representative who is authorized to act on behalf of that party. All notices, consents, and approvals required to be given hereunder shall be in writing and shall be given to the representatives of each party.

TERMINATION: Either party may terminate the Agreement without cause upon thirty (30) days notice in writing. If either party breaches the Agreement and fails to remedy such breach within seven (7) days of notice to do so by the non-defaulting party, the non-defaulting party may immediately terminate the Agreement. Non-payment by the Client of Consultant's invoices within 30 days of Consultant rendering same is agreed to constitute a material breach and, upon written notice as prescribed above, the duties, obligations and responsibilities of Consultant are terminated. On termination by either party, the Client shall forthwith pay Consultant all fees and charges for the Services provided to the effective date of termination.

ENVIRONMENTAL: Except as specifically described in this Agreement, Consultant's field investigation, laboratory testing and engineering recommendations will not address or evaluate pollution of soil or pollution of groundwater. Consultant is entitled to rely upon information provided by the Client, its consultants, and third-party sources provided such third party is, in Consultant's opinion, a reasonable source for such information, relating to subterranean structures or utilities. The Client releases Consultant from any liability and agrees to defend, indemnify and hold Consultant harmless from any and all claims, damages, losses and/or expenses, direct and indirect, or consequential damages relating to subterranean structures or utilities which are not correctly identified in such information.

PROFESSIONAL RESPONSIBILITY: In performing the Services, Consultant will provide and exercise the standard of care, skill and diligence required by customarily accepted professional practices normally provided in the performance of the Services at the time and the location in which the Services were performed.

INDEMNITY: The Client releases Consultant from any liability and agrees to defend, indemnify and hold Consultant harmless from any and all claims, damages, losses, and/or expenses, direct and indirect, or consequential damages, including but not limited to attorney's fees and charges and court and arbitration costs, arising out of, or claimed to arise out of, the performance of the Services, excepting liability arising from the sole negligence of Consultant.

LIMITATION OF LIABILITY: It is agreed that, to the fullest extent possible under the applicable law, the total amount of all claims the Client may have against Consultant under this Agreement, including but not limited to claims for negligence, negligent misrepresentation and/or breach of contract, shall be strictly limited to the lesser of professional fees paid to Consultant for the Services or \$50,000.00. No claim may be brought against Consultant more than two (2) years after the cause of action arose. As the Client's sole and exclusive remedy under this Agreement any claim, demand or suit shall be directed and/or asserted only against Consultant and not against any of Consultant's employees, officers or directors.

Consultant's liability with respect to any claims arising out of this Agreement shall be absolutely limited to direct damages arising out of the Services and Consultant shall bear no liability whatsoever for any consequential loss, injury or damage incurred by the Client, including but not limited to claims for loss of use, loss of profits and/or loss of markets.

In no event shall Consultant's obligation to pay damages of any kind exceed its proportionate share of liability for causing such damages.

DOCUMENTS: All of the documents prepared by or on behalf of Consultant in connection with the Project are instruments of service for the execution of the Project. Consultant retains the property and copyright in these documents, whether the Project is executed or not. These documents may not be used for any other purpose without the prior written consent of Consultant. In the event Consultant's documents are subsequently reused or modified in any material respect without the prior consent of Consultant, the Client agrees to defend, hold harmless and indemnify Consultant from any claims advanced on account of said reuse or modification.

Any document produced by Consultant in relation to the Services is intended for the sole use of Client. The documents may not be relied upon by any other party without the express written consent of Consultant, which may be withheld at Consultant's discretion. Any such consent will provide no greater rights to the third party than those held by the Client under the contract and will only be authorized pursuant to the conditions of Consultant's standard form reliance letter.

Consultant cannot guarantee the authenticity, integrity or completeness of data files supplied in electronic format ("Electronic Files"). Client shall release, indemnify and hold Consultant, its officers, employees, Consultant's and agents harmless from any claims or damages arising from the use of Electronic Files. Electronic files will not contain stamps or seals, remain the property of Consultant, are not to be used for any purpose other than that for which they were transmitted, and are not to be retransmitted to a third party without Consultant's written consent.



FIELD SERVICES: Consultant shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with work on the Project, and shall not be responsible for any contractor's failure to carry out the work in accordance with the contract documents. Consultant shall not be responsible for the acts or omissions of any contractor, subcontractor, any of their agents or employees, or any other persons performing any of the work in connection with the Project. Consultant shall not be the prime contractor or similar under any occupational health and safety legislation.

GOVERNING LAW/COMPLIANCE WITH LAWS: The Agreement shall be governed, construed and enforced in accordance with the laws of the jurisdiction in which the majority of the Services are performed. Consultant shall observe and comply with all applicable laws, continue to provide equal employment opportunity to all qualified persons, and to recruit, hire, train, promote and compensate persons in all jobs without regard to race, color, religion, sex, age, disability or national origin or any other basis prohibited by applicable laws.

DISPUTE RESOLUTION: If requested in writing by either the Client or Consultant, the Client and Consultant shall attempt to resolve any dispute between them arising out of or in connection with this Agreement by entering into structured non-binding negotiations with the assistance of a mediator on a without prejudice basis. The mediator shall be appointed by agreement of the parties. The Parties agree that any actions under this Agreement will be brought in the appropriate court in the jurisdiction of the Governing Law, or elsewhere by mutual agreement. Nothing herein however prevents Consultant from any exercising statutory lien rights or remedies in accordance with legislation where the project site is located.

ASSIGNMENT: The Client shall not, without the prior written consent of Consultant, assign the benefit or in any way transfer the obligations under these Terms and Conditions or any part hereof.

SEVERABILITY: If any term, condition or covenant of the Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remaining provisions of the Agreement shall be binding on the Client and Consultant.

FORCE MAJEURE: Any default in the performance of this Agreement caused by any of the following events and without fault or negligence on the part of the defaulting party shall not constitute a breach of contract, labor strikes, riots, war, acts of governmental authorities, unusually severe weather conditions or other natural catastrophe, disease, epidemic or pandemic, or any other cause beyond the reasonable control or contemplation of either party. Nothing herein relieves the Client of its obligation to pay Consultant for services rendered.

COVID-19: The parties acknowledge the ongoing COVID-19 pandemic and agree that the fee and schedule in the proposal is based on what is currently understood. Where conditions change, the parties may have further discussions to manage and mitigate the impact of this evolving situation on the Project.

CONTRA PROFERENTEM: The parties agree that in the event this Agreement is subject to interpretation or construction by a third party, such third party shall not construe this Agreement or any part of it against either party as the drafter of this Agreement.

BUSINESS PRACTICES: Each Party shall comply with all applicable laws, contractual requirements and mandatory or best practice guidance regarding improper or illegal payments, gifts, or gratuities, and will not pay, promise to pay or authorize the payment of any money or anything of value, directly or indirectly, to any person (whether a government official or private individual) or entity for the purpose or illegally or improperly inducing a decision or obtaining or retaining business in connection with this Agreement or the Services.

FLORIDA CONTRACTS: PURSUANT TO FLORIDA STATUTES CHAPTER 558.0035 AN INDIVIDUAL EMPLOYEE OR AGENT MAY NOT BE HELD INDIVIDUALLY LIABLE FOR DAMAGES RESULTING FROM NEGLIGENCE.

To: Town Board
From: Plan Commission

Request:

Adopt Plan Commission's recommendation on Door Community Auditorium Corporation's Conditional Use Permit Application to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42

Background:

Christine Pichler of GRAEF, on behalf of Door Community Auditorium Corporation, requested a Conditional Use Permit to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit. Door Community Auditorium Corporation received a Conditional Use Permit for establishment of Private School and Assembly Hall uses within the former Fish Creek Grill restaurant building in August 2021. However, those uses were never established and the Fish Creek Grill restaurant building was demolished at some time between August 2021 and April 2023.

Analysis:

The Plan commission held a public hearing on March 24, 2025 and heard from the builder and contractor and board members from the Auditorium Corporation as well as from neighboring property owners. Questions were asked and answered. The Plan Commission voted to recommend support of the petition, citing that it meets zoning criteria and is consistent with Village Commercial District and the Town's Comprehensive Plan.

Recommendation:

Adopt the Plan Commissions recommendation to support the conditional use permit with the following conditions requested by the Plan Commission: Follow Dark Sky lighting initiatives, add foliage to provide screen to east neighbor, adherence to noise ordinance.

Fiscal Impact:

There is no fiscal impact to the town for the request.



County of Door
LAND USE SERVICES DEPARTMENT: ZONING
County Government Center
421 Nebraska Street
Sturgeon Bay, WI 54235

Jeff Kussow, Senior Code Administrator

Direct line: (920) 746-2221

Main office line: (920) 746-2323

FAX: (920) 746-2387

E-mail: jkussow@co.door.wi.us

Website: <https://www.co.door.wi.gov/164/Land-Use-Services>

February 27, 2025

Town of Gibraltar
C/o Laura Reetz, Clerk
Via Email

Re: Conditional Use Permit Application #Z-24-1402; PIN: 014-02-33312721D1 (3931 State Highway 42)

Greetings,

We are sending you this letter to notify the town that there will be a hearing regarding a request for a conditional use permit regarding a property in the Town of Gibraltar at an upcoming Door County Resource Planning Committee meeting. The scheduling process for the hearing will begin on March 27, 2025, unless we hear from the town before that date. The hearing will be held no sooner than three weeks after the scheduling process is begun.

Enclosed is a "Town Recommendation Worksheet" which we ask you to complete and send back to the Door County Land Use Services Department. As a reminder, comments may be submitted to the Land Use Services Department up to noon the day before the public hearing, and/or the town may offer verbal testimony at the hearing.

Christine Pichler of GRAEF, on behalf of Door Community Auditorium Corporation, requests a Conditional Use Permit to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit.

The applicant has the responsibility to contact the Town of Gibraltar (Laura Reetz, Clerk: 920-868-1714) to determine if/when the town may be discussing this matter at a future meeting.

Sincerely,

Jeff Kussow
Senior Code Administrator

Enc.: Town recommendation worksheet
Conditional Use Permit application packet & draft staff report

Cc: Christina Pichler, GRAEF (via email)
Door Community Auditorium Corporation
Adjacent property owners within 300' (to receive letter only)

**Door County Land Use Services Department
Request for Town Recommendation**

Christine Pichler of GRAEF, on behalf of Door Community Auditorium Corporation, requests a Conditional Use Permit to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit

The (circle one) Town Board / Planning Committee of the Town of _____ held a legally noticed and posted meeting on _____, at which, by a vote of ____ (Yea) to ____ (Nay), the town recommended (check one) ____ **SUPPORT** ____ **DENIAL** for a conditional use permit.

Reason(s) for the town's decision:

Is the proposal consistent with the Town Comprehensive Plan?

Concerns or objections the town may wish to see potentially addressed through conditions:

Town Clerk Signature

Date

***To aid you in your review, please see the attached Conditional Use Permit decision-making worksheet used by the Door County Resource Planning Committee.**

CONDITIONAL USE PERMIT WORKSHEET

Applicant

Project

The Door County Resource Planning Committee (RPC) decision to approve, approve with conditions, or deny a Conditional Use Permit (CUP) must be supported by substantial evidence. A CUP applicant has the burden of proof. S/he must demonstrate, by substantial evidence, that the application and all requirements and conditions established in the ordinance and by the RPC relating to the conditional use are or shall be satisfied. If an applicant meets their burden of proof, then the RPC must grant the CUP.

If an applicant fails to meet their burden of proof, the CUP will be denied. The CUP may also be denied if substantial evidence exists to support the opposite conclusion, i.e., that the conditions and requirements the applicant must meet to obtain the conditional use permit are not or will not be satisfied.

Substantial evidence: Facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

To aid in the review of and decision-making regarding the proposed conditional use project, the Resource Planning Committee shall evaluate the following specific criteria as applicable, but shall not be limited thereto:

Decision-Making Criteria	Has the applicant met their burden of proof? (Yes / No / N/A)	Has convincing opposing substantial evidence been provided? (Yes / No / N/A)	Are there conditions which should or can be attached, whether to: a) insure ordinance compliance, b) address the lack of substantial evidence, and/or c) address convincing and substantial opposing evidence?
1) Whether the proposed project will adversely affect property values in the area.			
2) Whether the proposed use is similar to other uses in the area.			
3) Whether the proposed project is consistent with the Door County Comprehensive and Farmland Preservation Plan or any officially adopted town plan.			
4) Provision of an approved sanitary waste disposal system.			
5) Provision for a potable water supply.			
6) Provisions for solid waste disposal.			
7) Whether the proposed use creates noise, odor, or dust.			
8) Provision of safe vehicular and pedestrian access.			

9) Whether the proposed project adversely impacts neighborhood traffic flow and congestion.			
10) Adequacy of emergency services and their ability to service the site.			
11) Provision for proper surface water drainage.			
12) Whether proposed buildings contribute to visual harmony with existing buildings in the neighborhood, particularly as related to scale and design.			
13) Whether the proposed project creates excessive exterior lighting glare or spillover onto neighboring properties.			
14) Whether the proposed project leads to a major change in the natural character of the area through the removal of natural vegetation or alteration of the topography.			
15) Whether, and in what amount and form, financial assurance is necessary to meet the objectives of this ordinance.			
16) Whether, and to what extent, site-specific conditions should be imposed to mitigate potentially problematic impacts of the use.			<i>For example: Access restrictions? Parking? Hours of operation? Hours open to public? Screening? Increased setbacks? Restrictions on signs?</i>
17) The impact of the proposed project on public health, public safety, or the general welfare of the County.			<i>For example: Compliance with local, state, and federal codes, laws, orders, ordinances, and rules?</i>
Other topics? (The RPC may consider topics in addition to the above.)			

The Resource Planning Committee shall establish a completion date for the proposed project:_____

The Resource Planning Committee may impose conditions regarding the permit's duration, transfer, or renewal.



County of Door LAND USE SERVICES DEPARTMENT

County Government Center
421 Nebraska Street
Sturgeon Bay, WI 54235

DRAFT STAFF REPORT Conditional Use Permit Application

Applicant Information

Property Owner: Door Community Auditorium Corporation

Applicant: Christine Pichler, GRAEF

Parcel Identification Number & Address: 014-02-33312721D1; 3931 State Highway 42

Zoning District: Village Commercial (VC)

Petition request, including sections of zoning ordinance requiring permit:

Christine Pichler of GRAEF, on behalf of Door Community Auditorium Corporation, requests a Conditional Use Permit to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit.

Sections 2.05(3)(b), 4.04(17) & 11.04, Door County Comprehensive Zoning Ordinance.

Description of Subject Property and Surrounding Area

- **Lot Area, Width & Depth:** 0.76 acres; Approx. 221 ft. wide & 150 ft. deep
- **Road Frontage & Access:** 230 ft. of road frontage along STH 42; Access to the subject parcel is via STH 42.
- **Traffic patterns/road usage:** Traffic/road usage on STH 42 is moderate to heavy (depending on season) due to STH 42 being the main thoroughfare to/through downtown Fish Creek and the Gibraltar public school being located across STH 42 from the subject parcel.
- **Existing uses/structures:** Vacant/parking lot
- **Water and sanitation:** Subject parcel will be served by an existing private well and public sewer (Fish Creek Sanitary District)
- **Significant topography or vegetation:** No significant topography or vegetation; Subject parcel is currently bordered by mature trees located on neighboring parcels adjacent to the North, East and South. There is conservation easement on the parcel adjacent to the North. There are no wetlands on the subject property.
- **Surrounding Area:** All adjacent parcels are located in the Village Commercial (VC) zoning district (same as subject parcel). Parcel adjacent to the east and south contains the "The Hilltop Inn Condominium" multiple occupancy development. Parcel adjacent to the north contains the "Peninsula School of Art" private school and art gallery. STH 42 is adjacent to the west and the Gibraltar public school property is west of STH 42 from the subject parcel.

Background/History

- The subject parcel was created in 1993 via Warranty Deed (Document #528204).
- The Fish Creek Grill restaurant formerly occupied the subject parcel.
- Door Community Auditorium Corporation received a Conditional Use Permit for establishment of Private School and Assembly Hall uses within the former Fish Creek Grill restaurant building in August 2021. However, those uses were ever established and the Fish Creek Grill restaurant building was demolished at some time between August 2021 and April 2023.

The applicant is proposing to establish Auditorium and Assembly Hall uses within a new principal building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit.

- Proposed Days/Hours of Operation:
 - Monday – Friday: 12:00pm – 5:00pm (standard business hours)
 - Special Event/Show Days (including Saturday & Sunday): 12:00pm – 12:00am
- Maximum Occupancy:
 - Total Building Occupancy = 210 persons
 - Gathering/Event Space Occupancy = 149 persons

The proposed development complies with all applicable requirements of the County Comprehensive Zoning Ordinance except for the parking area screening barrier requirement of Section 7.03(2)(c) of the County Comprehensive Zoning Ordinance, as described below.

Landscape Buffer Requirements: A landscape buffer between the proposed building and principal buildings on adjoining lots (*per Section 3.10 of the County Comprehensive Zoning Ordinance*) is not required due to the adjoining lots being in the Village Commercial (VC) zoning district.

Off-Street Parking Requirements:

- A total of 50 parking spaces are required (i.e., 1 space per 3 seats)
- The applicant is proposing 28 on-site parking spaces and 32+ off-site spaces on the Gibraltar School District parcel west of State Highway 42 and within 500 ft. of the proposed building. Parking may be provided off-premise, provided that:
 1. The off-premise property to serve as the required parking lot shall be leased for such purpose for 20 years or more; and
 2. Each of the parking spaces shall be within 500 feet of the structure housing the use that the parking spaces are intended to serve.

A draft lease for off-premise parking has been provided by the applicant and is included in the packet. The number of off-premise parking spaces permitted in the lease satisfies minimum parking requirements for the proposed development (in addition to on-site parking).

The proposed on-premise and off-premise parking are in compliance with Chapter 7 of the County Comprehensive Zoning Ordinance.

Parking Area Landscaping Requirements:

Per Section 7.03(2)(a) & (b) of the County Comprehensive Zoning Ordinance, the proposed 28 on-premise parking spaces requires 420 landscaping points (i.e., 15 points per parking space), including at least 2 canopy trees within 10' of the parking surface. A landscaping plan in compliance with this requirement is included in the packet.

Per Section 7.03(2)(c) of the County Comprehensive Zoning Ordinance, a screening barrier (for the purpose of reducing glare) shall be required to screen the parking area from the lot adjacent to the east and south which contains a residential use (i.e., multiple occupancy development).

- The minimum height of the barrier shall be 3.5 feet above the surface of the parking area.
- The barrier may consist of wood or masonry fencing, walls, berms, or planted materials. If planted materials are used, they must be of suitable size and density to accomplish the screening objective within 3 years of planting.

The landscaping plan identifies a vegetative barrier screening the parking area from the east but does not identify any barrier screening the parking area from the south. *Submission of a revised landscaping plan in compliance with all parking area landscaping requirements described in Section 7.03 of the County Comprehensive Zoning Ordinance is included as a suggested condition of approval listed below.*

Zoning Considerations

- **Purpose of the Village Commercial (VC) zoning district:** *“This district is intended for the primary centers of community development, permitting commercial and mixed use development and redevelopment, as well as residential usage. The district permits a wide variety of retail, service, and office uses and is intended to maintain the vitality of existing commercial centers. It should be established for the main business districts of existing communities. Lot sizes of at 20,000 square feet are required for new lots that are not served by public sewer.”*

- **Does the use meet the zoning ordinance’s stated purpose and intent?** The proposed Auditorium and Assembly Hall uses are conditional uses in the Village Commercial zoning district, and may be permitted with a Conditional Use Permit. The proposed uses can presumably meet the zoning ordinance’s stated purpose/intent and be compatible with the surrounding area with conditions of approval (see suggested conditions below). See also the comprehensive plan considerations below.

- **Specific requirements for proposed use and/or possible conditions that may be relevant.**
 1. A Door County Regular Zoning Permit authorizing construction of the building shall be obtained within 12 months; construction must begin within 12 months of the issuance of the regular zoning permit.
 2. A parking area landscaping plan in compliance with section 7.03 shall be submitted to and approved by the Door County Land Use Services Department prior to issuance of the County Regular Zoning Permit authorizing construction of the building.
 3. The off-premise parking lease between the Door Community Auditorium Corporation and Gibraltar School District shall be executed prior to issuance of the County Regular Zoning Permit authorizing construction of the building.
 4. Any outdoor lighting erected in conjunction with this use shall utilize fixtures whose lens, hood, or combination thereof allow no direct beams to be seen from off the property or cast skyward, and the lighting elements of which shall not be visible from adjacent properties.
 5. The entire project shall be completed by _____, 20__.
 6. The project(s) shall comply with all applicable local, state, and federal building codes and ordinances, including obtaining all required approvals and permits prior to beginning construction.
 7. *An affidavit shall be recorded with the deed to provide successors in interest notice of the conditional use permit and conditions and requirements.***

****NOTE:** *Condition #7 above was a condition on the Auditorium’s 2021 CUP, as required at the time by s. 11.08.04(c) of the zoning ordinance. This section was amended in 2022 to make the affidavit optional, as listed verbatim below.*

(c) Transfer. Subsequent owners of the property are generally allowed to continue the use, subject to conditions and requirements imposed on the original conditional use permit. An affidavit may be required to be recorded with the deed to provide successors in interest notice of the conditional use permit and conditions and requirements.

(Amended: 22 Feb. 2022; Ord. No. 2022-03)

Comprehensive Plan Considerations

- **County comprehensive plan land use map designation and description.**

The subject parcel is designated as Core Area and Mixed Commercial/Residential on the county's future land use map, as described below and shown on the attached map.

Core Areas

The areas encompassed by the core area boundaries consist of existing built-up communities and their planned expansion areas. These communities already contain a fairly dense mixture of commercial, residential, and institutional uses. In many cases public sewer already exists. In general, future high density (re)development, whether commercial, residential, or mixed-use, should be directed to these areas. Guidelines for these areas are as listed below.

- *Maintain the vital community character of these core areas by encouraging future commercial, residential, and institutional uses to locate in these areas.*
- *Allow higher density development in accordance with the availability of and capability of wastewater treatment systems.*
- *Within individual development core areas, guide the future development pattern by identifying suitable locations for each type of desired development (e.g., retail, single family residential, mixed-use, townhouses, etc.).*
- *Promote orderly and rational expansion of these communities, particularly by avoiding a linear strip development pattern along major roads in favor of a more compact development pattern. Where possible, communities should strive to maintain a distinct "edge" to their built-up areas.*
- *Avoid sprawl by maintaining undeveloped parts of the core areas as lower density rural lands until such land is actually needed to accommodate growth from the central parts of the core areas.*
- *Encourage infill development and redevelopment.*

Targeting much of the projected commercial and higher-density residential development to core areas will serve to allow the county to grow with minimal "sprawling," utilize sewer or planned sewer extensions, expand commercial and industrial uses contiguous to existing such uses, and maintain the rural atmosphere of outlying areas of the county. Core areas are therefore those areas of the county deemed to be designated for "Smart Growth," as defined by the Wisconsin legislation's 14 municipal planning goals.

Mixed Commercial/Residential – *Areas designated as "Mixed Commercial/Residential" are intended to accommodate a variety of commercial and residential activities, typically higher-density and in designated community centers, core areas, or "downtowns." There are also several small "Mixed Commercial/Residential" areas scattered throughout the county outside the core areas, most of which have historically been minor development nodes and which are usually situated at a major crossroads. Unlike core areas, public sewer is not expected to extend to any of these outlying areas. Development in these outlying areas should avoid large-scale projects that would conflict with the "small-town" character of these communities, alter the visual quality of the surrounding areas, or create conflicts with surrounding agricultural uses.*

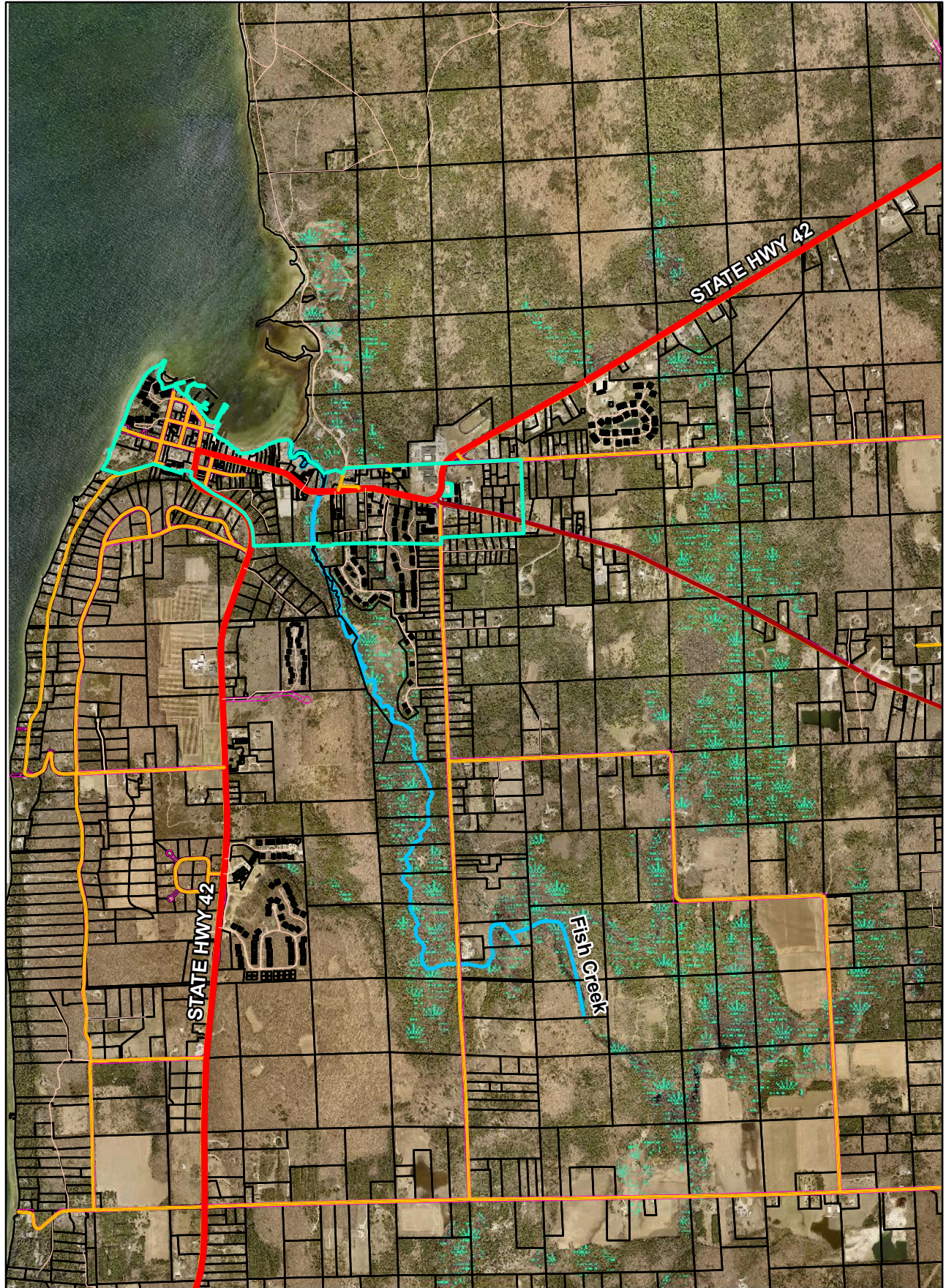
The proposed assembly hall is in keeping with the Core Area designation. This project avoids sprawl and achieves infill development goals as it is being proposed for a vacant lot located within an already developed area that also has public sewer. The project is also in keeping with the Mixed Commercial/Residential future land use category which is intended to accommodate a variety of commercial activities. Lastly, this use is allowed in the VC zoning district via conditional use permit and, presumably, any concerns can be addressed with conditions the Resource Planning Committee deems appropriate.

- **Relevant goals/policies/action items from comprehensive plan.** None.
- **Other relevant text from county comprehensive plan.** None.

Aerial Map (town)

Door Community Auditorium Corp.: 014-02-33312721D1

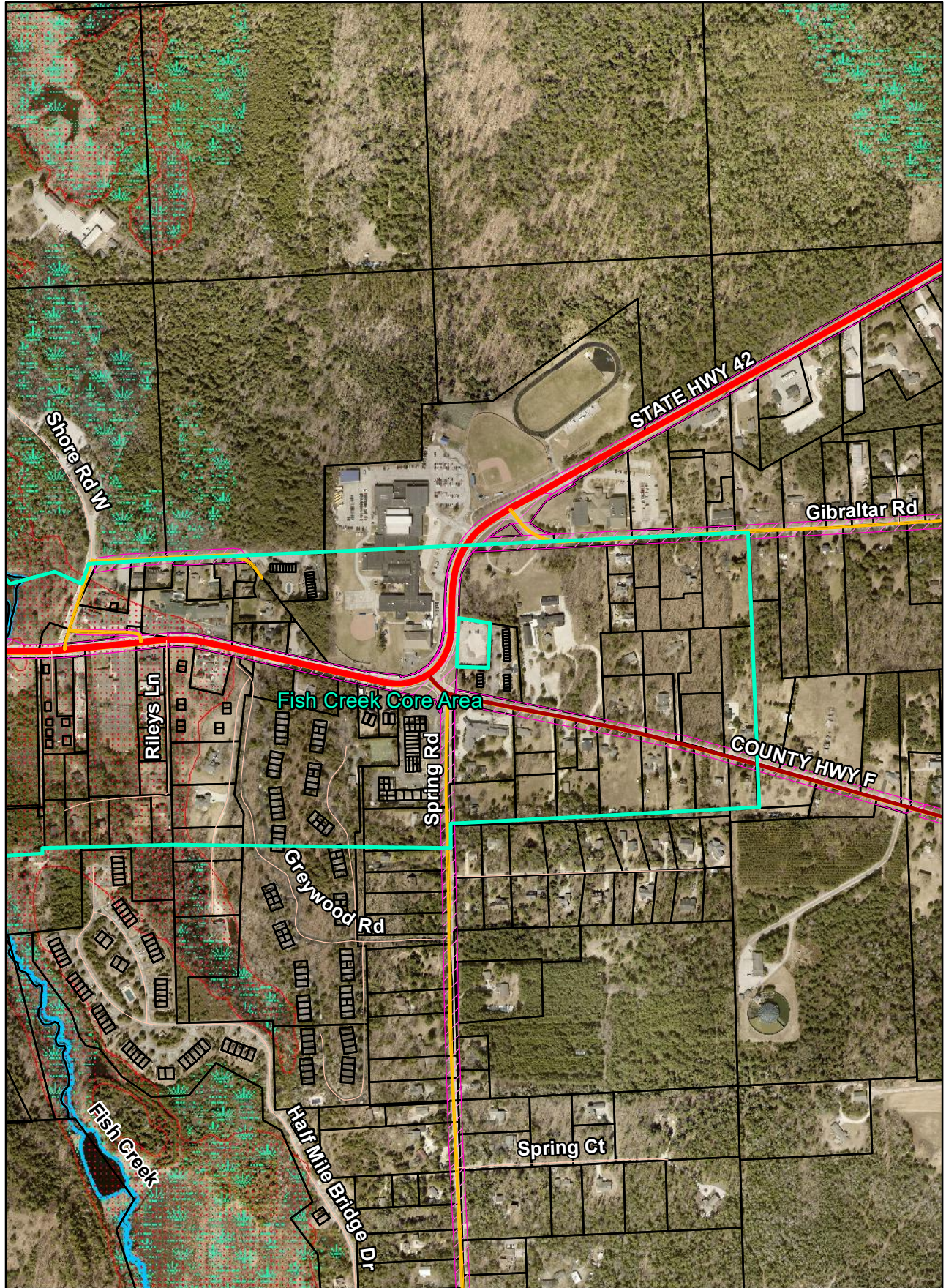
Proposed Use: Assembly Hall



Aerial Map (neighborhood)

Door Community Auditorium Corp.: 014-02-33312721D1

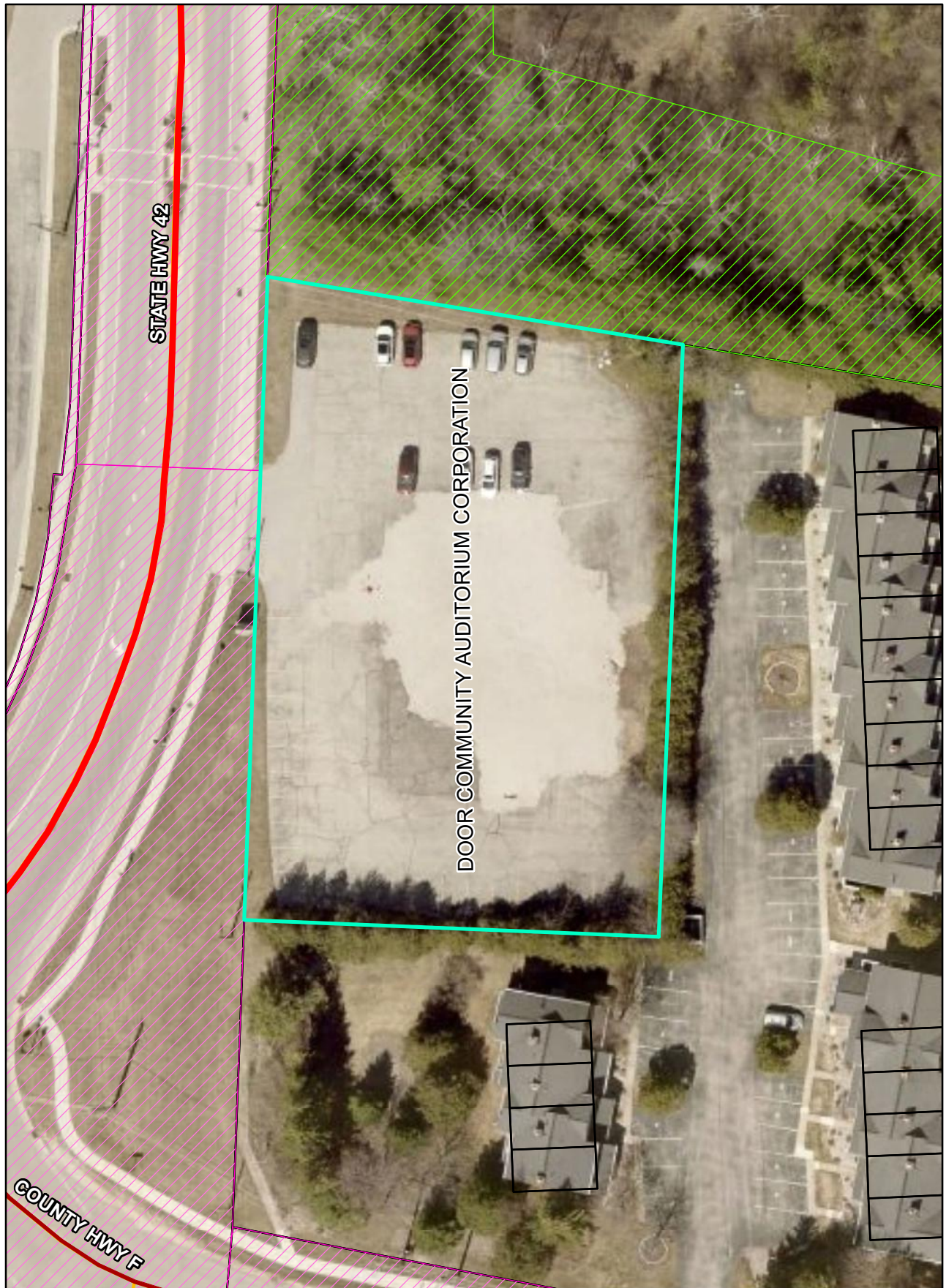
Proposed Use: Assembly Hall



Aerial Map (close-up)

Door Community Auditorium Corp.: 014-02-33312721D1

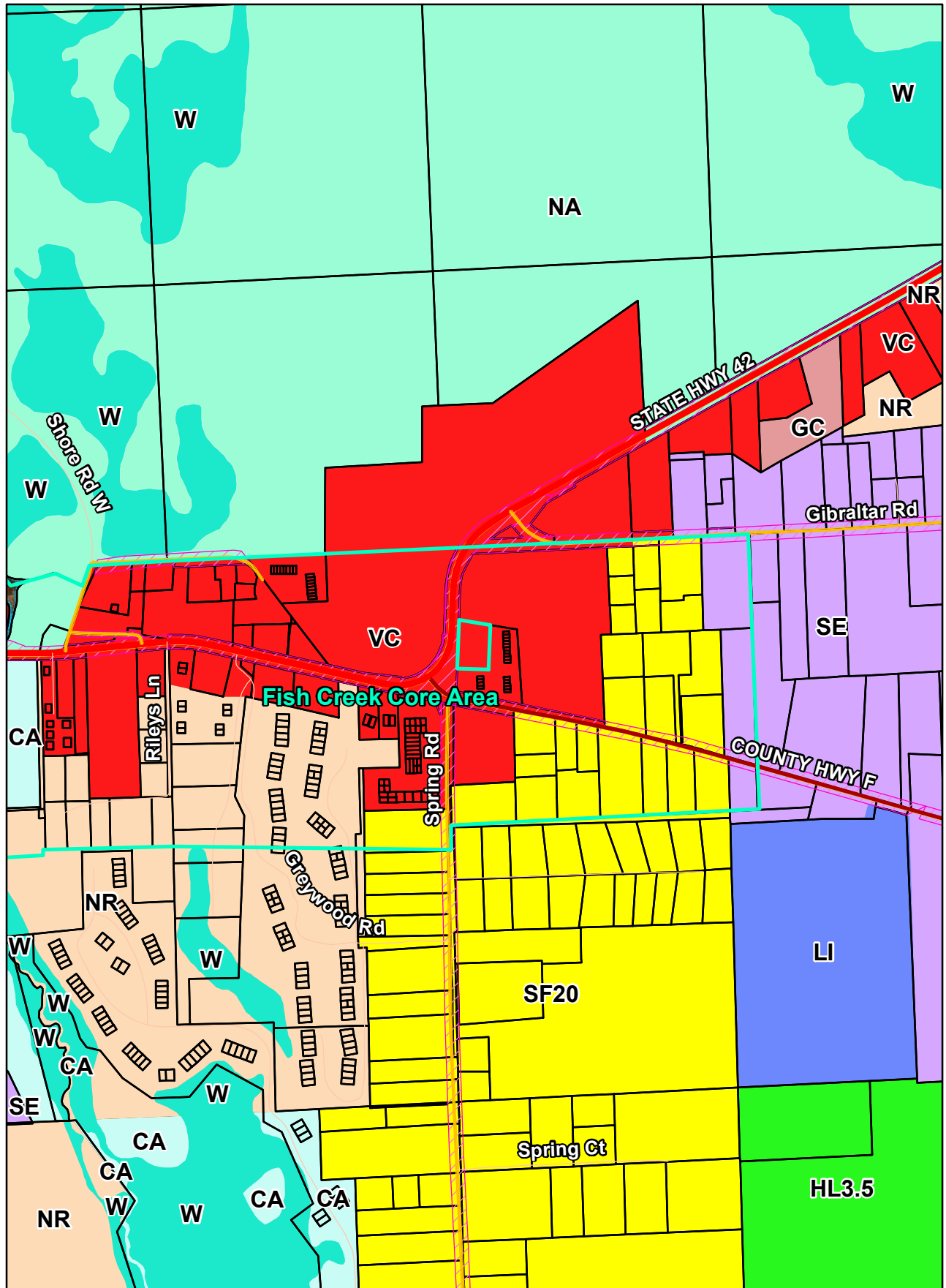
Proposed Use: Assembly Hall



Zoning Map

Door Community Auditorium Corp.: 014-02-33312721D1

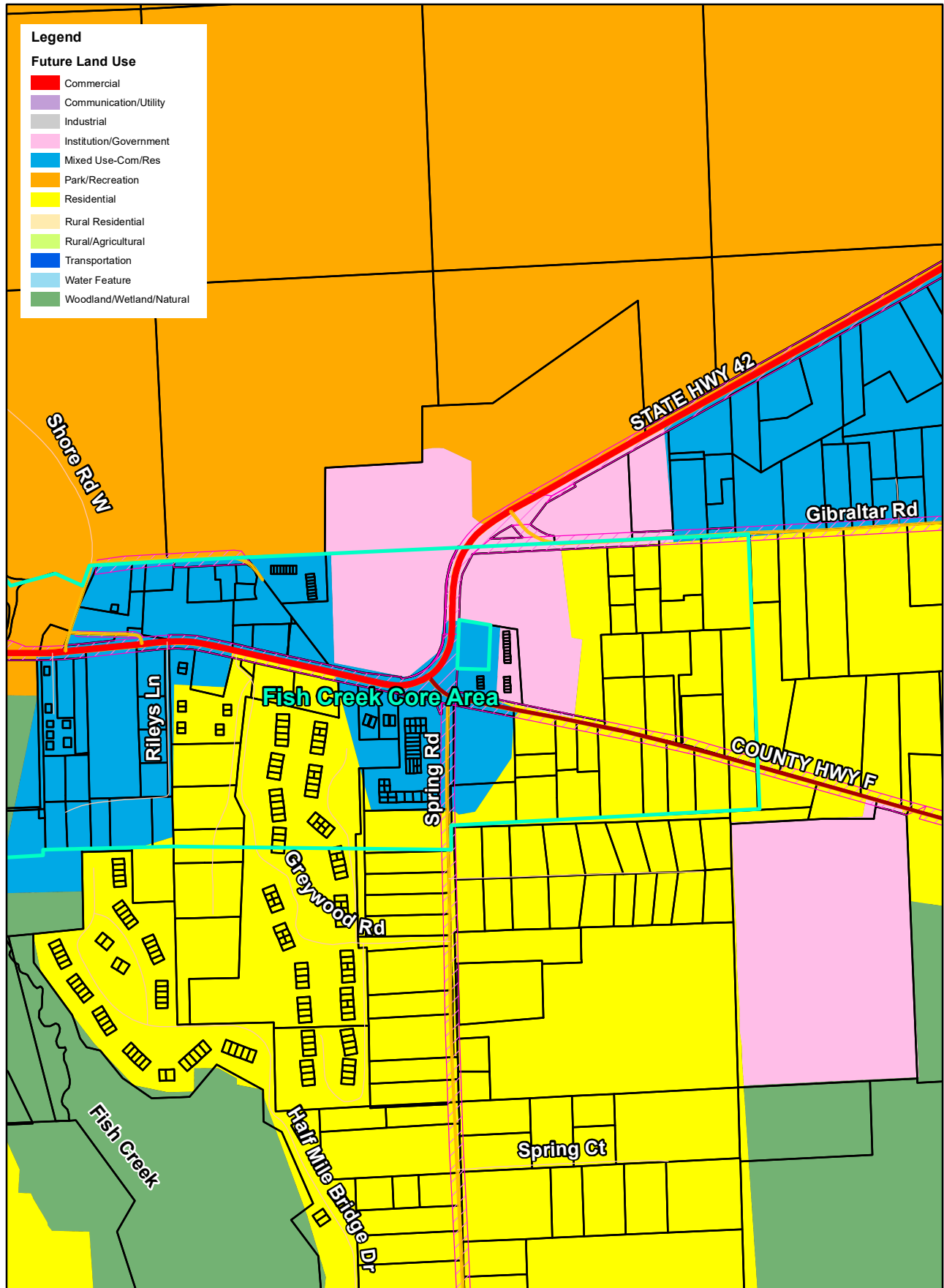
Proposed Use: Assembly Hall



Future Land Use Map

Door Community Auditorium Corp.: 014-02-33312721D1

Proposed Use: Assembly Hall



**CONDITIONAL USE PERMIT APPLICATION OVERVIEW AND
ON-SITE INSPECTION AUTHORIZATION**

A "conditional use" is one that has been determined to be compatible in a particular area, not a use that is always compatible at a specific site within that area. The use is subject to requirements and conditions, and is only allowed under a conditional use permit (CUP) issued by Door County. A conditional use permit is also required if an owner wishes to expand a non-conforming use (i.e., a use previously legally established which would not be allowed under current zoning regulations).

(I) (We)

Full name(s): Door Community Auditorium Corporation

Propose to:

build a new auditorium and gathering space to supplement the activities of the
existing Door Community Auditorium located across STH 42 from the proposed site.

The existing use of structure or land in question is:

No structure is located on the site, it currently serves as a parking lot.

AUTHORIZATION FOR INSPECTION:

I hereby authorize the Zoning Administrator to enter upon the premises for which this petition is made at any reasonable time for all purposes of inspection related to this petition.

SIGNATURE OF APPLICANT/AGENT: Carleen's

DATE: October 15, 2024

APPLICATION FOR CONDITIONAL USE PERMIT – ADDENDUM

A conditional use permit applicant has the burden of proof. S/he must demonstrate that the application and all requirements and conditions established by the Resource Planning Committee relating to the conditional use are or shall be satisfied, all of which must be supported by substantial evidence. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

If an applicant meets this burden of proof, the Resource Planning Committee will grant the conditional use permit. If an applicant fails to meet this burden of proof, the conditional use permit application will be denied.

To aid in its review of the proposed project, the Committee will consider the Door County Comprehensive Zoning Ordinance criteria set forth below. Answer all portions of all questions completely. State "not applicable," if appropriate, offering an explanation as to why facts and information were not provided.

Please provide the Resource Planning Committee members substantial evidence regarding:

1) Whether the proposed project will adversely affect property values in the area.

a similar, larger space exists directly across STH 42 from the proposed site

2) Whether the proposed use is similar to other uses in the area.

a similar, larger space exists directly across STH 42 from the proposed site

3) Whether the proposed project is consistent with the Door County Comprehensive and Farmland Preservation Plan or any officially adopted town plan.

the parcel is zoned for commercial use currently and as a future use

4) Provision of an approved sanitary waste disposal system.

X Public Sewer _____ Private Onsite Wastewater Treatment System (POWTS)

	<u>Check One</u>		<u>Check One</u>
_____	Existing	_____	Conventional Septic
_____	New	_____	Other In-ground System
		_____	Holding Tank

5) Provision for a potable water supply.

_____ Public Water Supply (Liberty Grove Sanitary District #1 and Maplewood only) X Well

	<u>Check One</u>		<u>Check One</u>
<u>X</u>	Existing	<u>X</u>	Private Well
_____	New	_____	Shared Well

6) Provisions for solid waste disposal.

- Commercial hauler
- Private delivery to collection site
- Other _____

7) Whether the proposed use creates noise, odor, or dust.

Noise: some noise will be created by groups gathering on the patio, any applicable noise ordinances will be followed

Odor: no odor will be created

Dust: no dust will be created

8) Provision of safe vehicular and pedestrian access.

Vehicular Access

Existing Driveway(s) to STH 42
(Road Name)

New Driveway(s) to _____
(Road Name)

Pedestrian Access

Sidewalks

Path or Trail

No Pedestrian Traffic

9) Whether the proposed project adversely impacts neighborhood traffic flow and congestion.

Existing traffic: _____ High Levels _____ Medium Levels _____ Low Levels

The proposed site contains 29 parking stalls and exits onto a state highway. The site is currently used as a parking lot. The project will not adversely impact local traffic.

CONDITIONAL USE PERMIT ADDENDUM – PAGE 3

10) Adequacy of emergency services and their ability to service the site. PLEASE SEE SEPARATE PAGE.

11) Provision for proper surface water drainage.

Natural Infiltration (explain below)

Some Grading of the Site (explain below)

Engineered Stormwater and/or Erosion Control Plan (attach)

The site will be graded to allow proper drainage off the site. The proposed grade is 1.5 to 2 feet higher than existing grade, but flow patterns from the site remain similar to existing.

12) Whether proposed buildings contribute to visual harmony with existing buildings in the neighborhood, particularly as related to scale and design.

The proposed single story building will not appear out of scale as compared to adjacent properties.

13) Whether the proposed project creates excessive exterior lighting glare or spillover onto neighboring properties.

Exterior lighting will be focused on the patio and parking areas. The property is surrounded on three sides by mature trees that will block light spillover. The remaining side is the state highway that is currently lit.

14) Whether the proposed project leads to a major change in the natural character of the area through the removal of natural vegetation or alteration of the topography.

Natural Vegetation: No Removal

Some Removal

Significant Removal (provide Landscape Plan)

Existing trees and shrubs on site will be cut back to allow for construction.

Topography: No Change

Some Change

Major Change (provide Grading Plan)

CONDITIONAL USE PERMIT ADDENDUM – PAGE 4

15) Whether, and in what amount and form, financial assurance is necessary to meet the objectives of this ordinance.

16) Whether, and to what extent, site-specific conditions should be imposed to mitigate potentially problematic impacts of the use.

17) The impact of the proposed project on public health, public safety, or the general welfare of the County.

The Resource Planning Committee will establish a completion date for the proposed project.

By what month and year will the project be completed? _____, _____

The Resource Planning Committee is allowed to consider topics in addition to the above. Please provide information on additional topics you think the Committee should or may consider in evaluating this project.

Note that a conditional use permit will generally remain in effect as long as the conditions and requirements upon which the permit was issued are followed. Subsequent owners of the property are generally allowed to continue the use, subject to those conditions and requirements. An affidavit is to be recorded with the deed to provide successors in interest notice of the conditional use permit and conditions and requirements.

The Resource Planning Committee may, however, impose conditions regarding the permit's duration, transfer, or renewal, in addition to any other conditions pertaining to ordinance standards or the specific criteria listed above. For example, the Committee may grant a limited term conditional use permit if a reasonable basis exists for such limitation. Any limited term conditional use permit may be subject to renewal after a re-evaluation of the use via a hearing before the Resource Planning Committee.

APPLICATION FOR CONDITIONAL USE PERMIT – ADDENDUM PAGE 5
Question 10, Emergency Services

Please take this page to the local Fire Chief with a copy of the project plans for review. Have the Fire Chief complete and sign below.

Applicants are responsible for returning the completed form to the Land Use Services Department: 421 Nebraska Street, Sturgeon Bay, WI, 54235. FAX: (920) 746-2387. E-mail: lriemer@co.door.wi.us .

10) Adequacy of emergency services and their ability to service the site.

As Fire Chief of the Town of Gibraltar Fire Department, I have reviewed the plans of this project. Our Department **CAN / CANNOT (circle one)** access this site for fire protection purposes.

Other Fire Chief comments: The front/road side of the building shall be a fire lane and the drive in the rear shall be accessible at all times

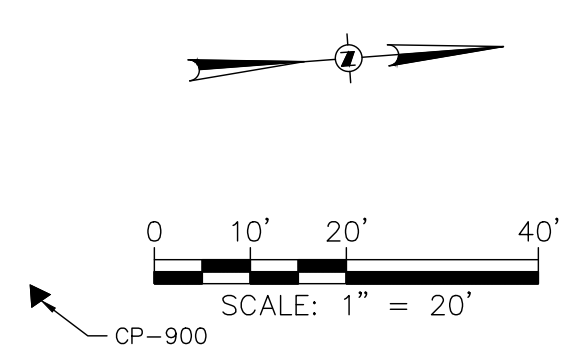
No obstructions such as islands and light posts in the defined parking lot area

Entrance shall have no obstructions such as pillars or sign posts within 10' of the north side

Sidewalk adjacent to the fire lane will have no posts near the curb to allow fire trucks to make turns


(Signature)

_____, Fire Chief October 16, 2024
(Date)



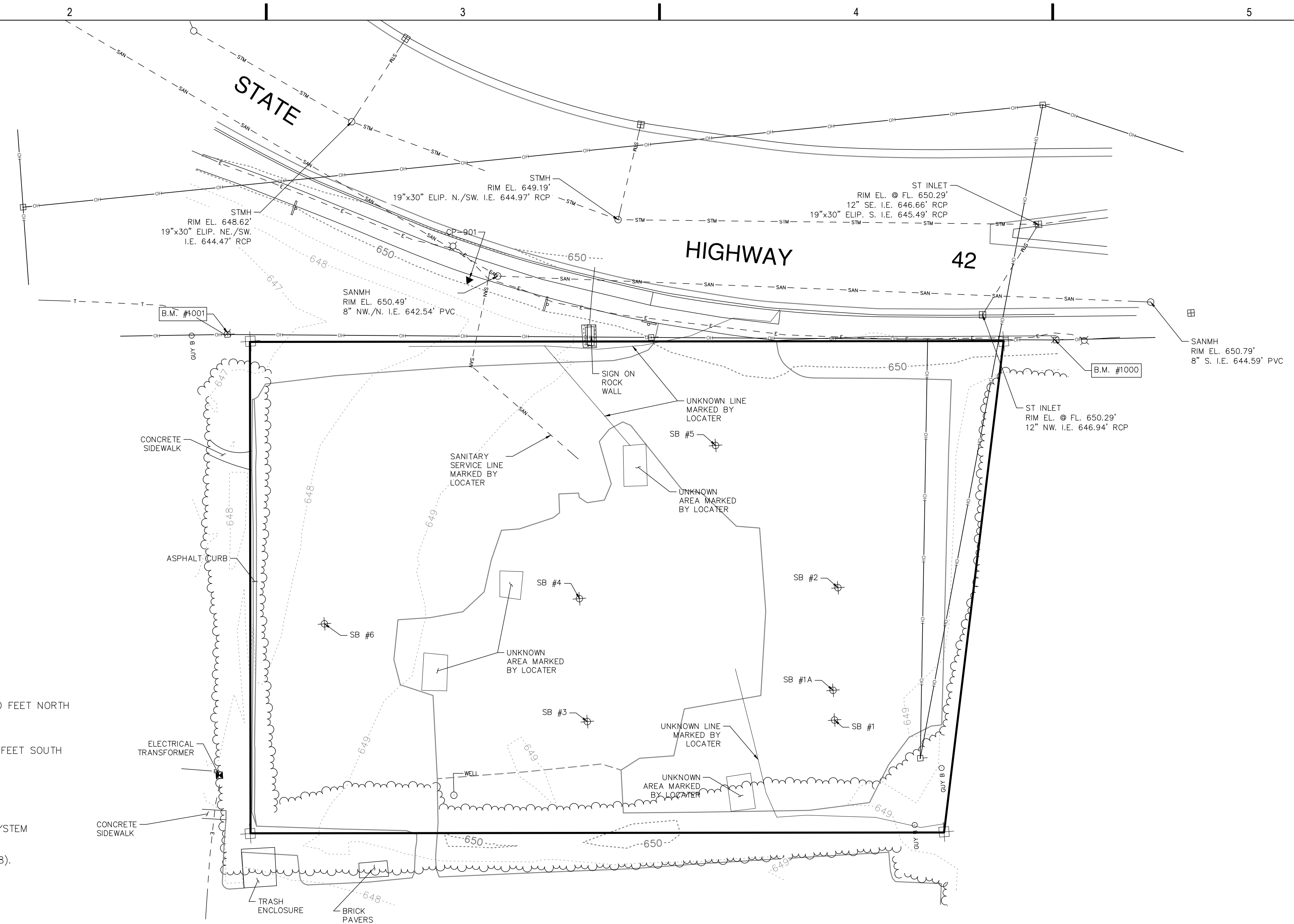
PROJECT TITLE:

DOOR COMMUNITY
AUDITORIUM ANNEX

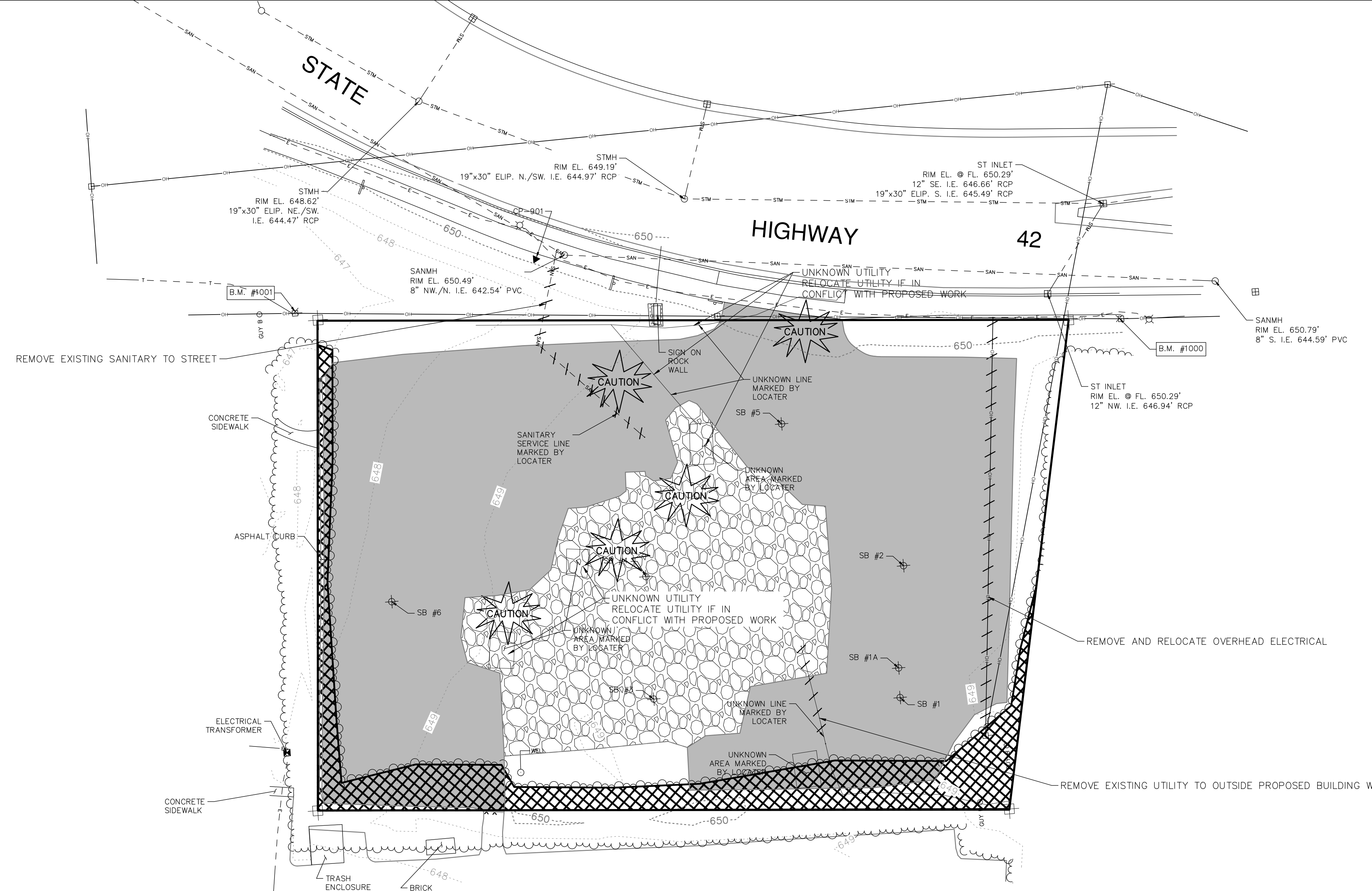
3931 WI 42
FISH CREEK, WI

ISSUE:
NO. DATE REVISIONS BY

NOT FOR CONSTRUCTION



TOPOGRAPHIC SURVEY



SITE DEMOLITION PLAN

LEGEND

- ASPHALT PAVEMENT REMOVAL
- GRAVEL PAVEMENT REMOVAL
- UTILITY REMOVAL
- BRUSH REMOVAL

CONTROL POINTS

CP-900 SET CUT CROSS N. 264,838.21' E. 531,929.11'	CP-901 SET 1/2" REBAR W/GRAEF CAP N. 264,479.63' E. 531,944.82'
CP-902 SET MAG NAIL N. 264,190.93' E. 531,923.67'	CP-903 SET MAG NAIL N. 264,449.17' E. 532,148.09'

BENCHMARKS

- BM 1000 SET RAILROAD SPIKE SOUTH FACE OF POWER POLE LOCATED APPROXIMATELY 100 FEET NORTH OF THE ENTRANCE TO 3931 SHORT ROAD. ELEVATION = 651.99' (SHOWN)
- BM 1001 SET RAILROAD SPIKE WEST FACE OF POWER POLE LOCATED APPROXIMATELY 150 FEET SOUTH OF THE ENTRANCE TO 3931 SHORT ROAD. ELEVATION = 647.41' (SHOWN)

SURVEY NOTES

1. HORIZONTAL COORDINATES ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS), DOOR COUNTY, IN U.S. SURVEY FEET.
2. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8S).
3. FIELDWORK WAS COMPLETED ON 9/6/2024

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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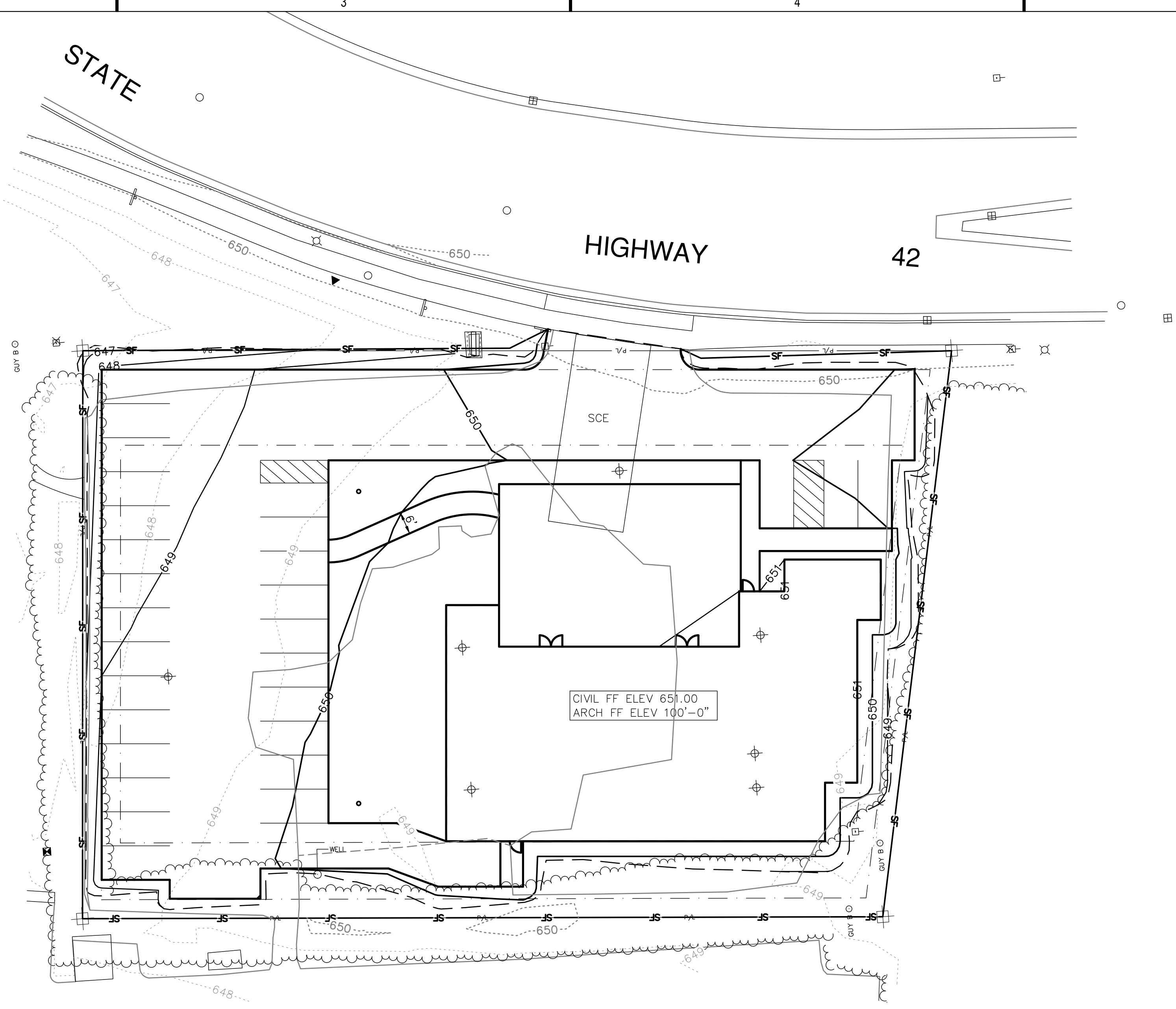
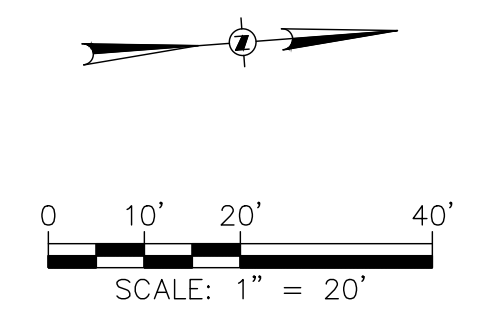
PROJECT INFORMATION:

PROJECT NUMBER: 2024-0279.00
DATE: 09/27/2024
DRAWN BY: CEP
CHECKED BY: PJS
APPROVED BY: CEP
SCALE: AS NOTED

SHEET TITLE:

TOPOGRAPHIC SURVEY &
SITE DEMOLITION PLAN

SHEET NUMBER:



SITE EROSION CONTROL PLAN

LEGEND

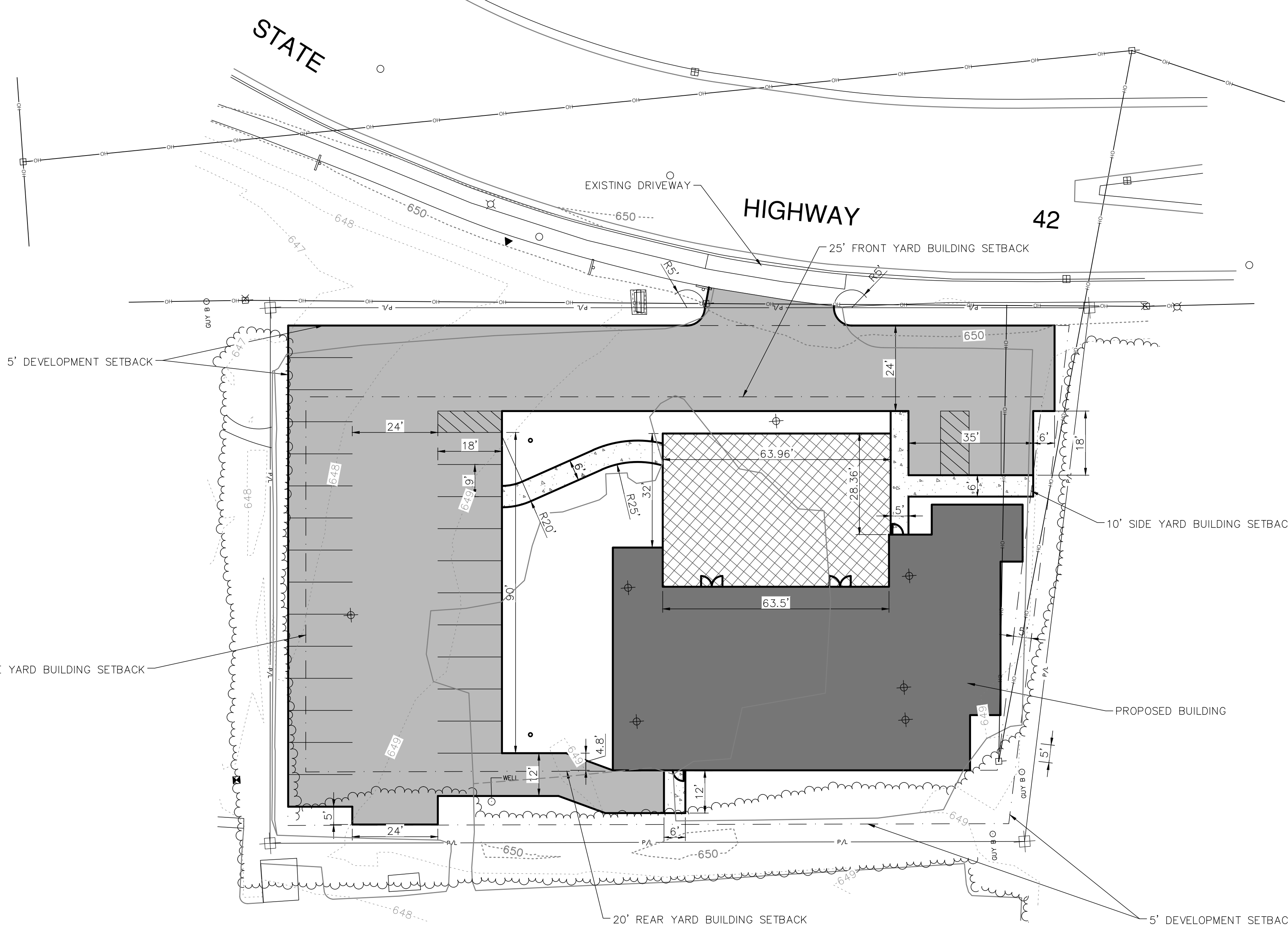
- SCE -STONE CONSTRUCTION ENTRANCE
- SILT FENCE

PROJECT TITLE:
DOOR COMMUNITY
AUDITORIUM ANNEX

3931 WI 42
FISH CREEK, WI

NO.	DATE	REVISIONS	BY	ISSUE:

NOT FOR CONSTRUCTION



SITE LAYOUT PLAN

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PATIO

PROJECT INFORMATION:

PROJECT NUMBER: 2024-0279.00
DATE: 09/27/2024
DRAWN BY: CEP
CHECKED BY: PJS
APPROVED BY: CEP
SCALE: AS NOTED

SHEET TITLE:

SITE EROSION CONTROL PLAN &
SITE LAYOUT PLAN

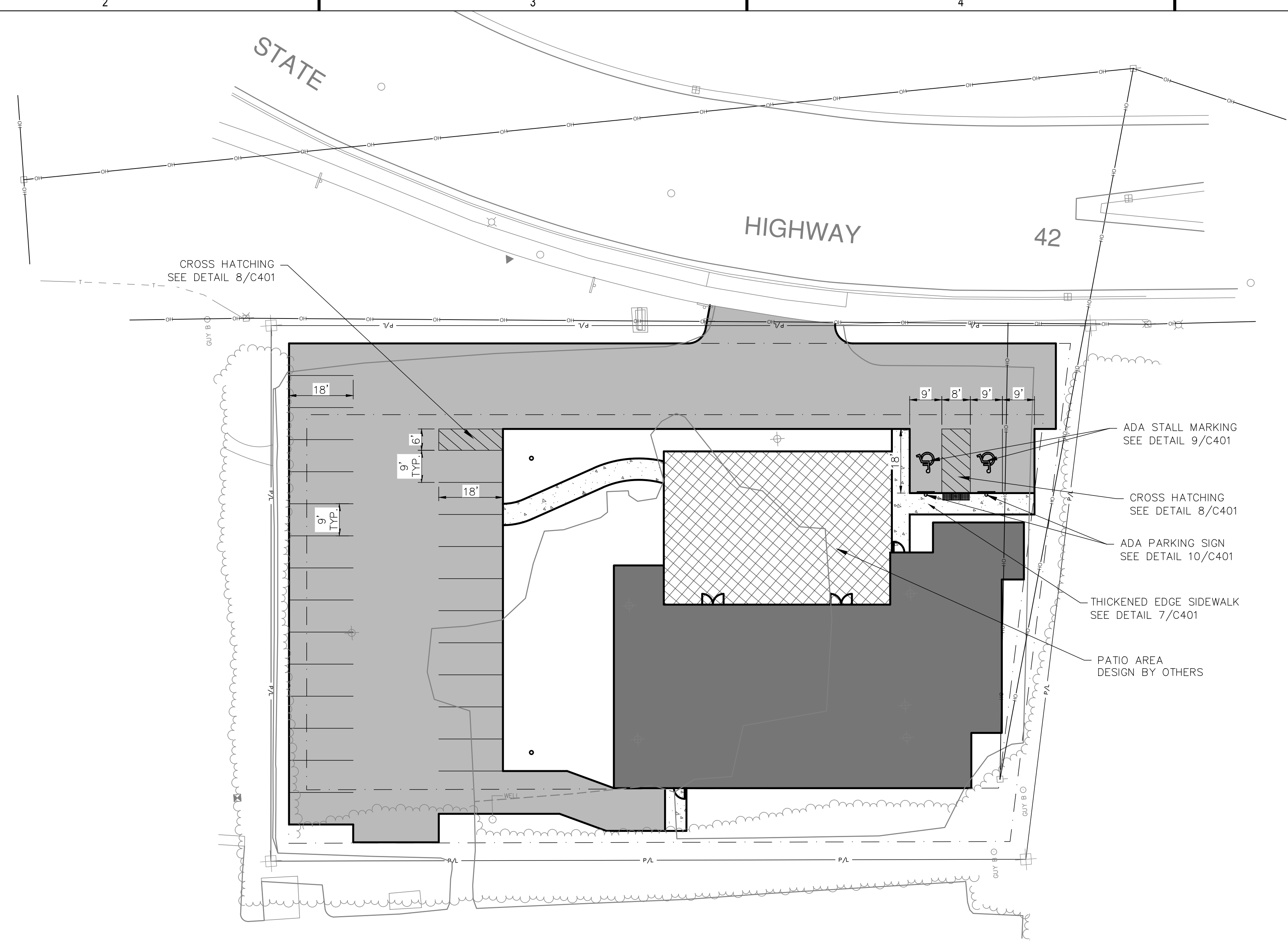
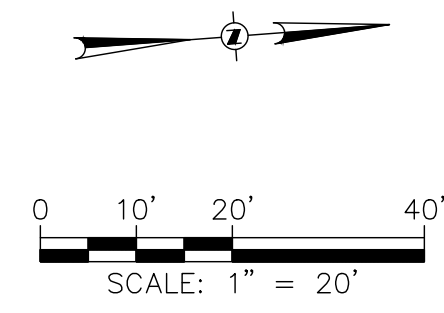
SHEET NUMBER:

C200

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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LEGEND

- PROPOSED ASPHALT PAVEMENT, DETAIL 5/C401
- PROPOSED CONCRETE SIDEWALK, DETAIL 6/C401
- PROPOSED PATIO
- DETECTABLE WARNING FIELD, DETAIL 11/C401

SITE PAVING PLAN

GENERAL NOTES

- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON SURVEY BY GRAEF DATED SEPTEMBER 2024. ALL UNDERGROUND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND DEPTH.
- IN ACCORDANCE WITH WISCONSIN STATUTE 182.01, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THIS DRAWING, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK. CONTACT CITY OF GREEN BAY PARKS DEPARTMENT TO LOCATE PRIVATE UTILITIES ON THE SITE.
- HORIZONTAL COORDINATES ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM (WISCRS), DOOR COUNTY, IN U.S. SURVEY FEET.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

REMOVAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR REMOVAL. EXISTING UTILITIES TO BE REMOVED SHALL BE REMOVED TO THE LIMITS SHOWN ON THE PLAN. ALL UTILITY STRUCTURES LOCATED ON REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY. EXISTING UTILITIES THAT ARE TO BE REMOVED SHALL REMAIN IN SERVICE UNTIL NEW UTILITIES ARE INSTALLED UNLESS OTHERWISE DIRECTED.
- CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF PAVEMENTS, CURB AND GUTTER, VEGETATION, ABOVE GROUND APPURTENANCES, OR ANY OTHER ITEM SCHEDULED TO REMAIN THAT IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AS DETERMINED BY OWNER. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED ITEMS AT NO COST TO THE OWNER.
- ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
- TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION PERIOD. SEE DETAIL 4/C401. WHERE GRADING IS REQUIRED WITHIN TREE PROTECTION FENCE, IT SHALL BE COMPLETED WITH HAND TOOLS.
- ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE STATUTES. CONCRETE TRUCK WASHOUT SHALL BE COMPLETED WITHIN THE CONSTRUCTION LIMITS ADJACENT TO SEDIMENTATION AREAS AND AWAY FROM ALL STORMWATER COLLECTION STRUCTURES. HARDENED CONCRETE WASTE SHALL EITHER BE REMOVED FROM SITE OR USED AS BACKFILL IN APPROVED LOCATIONS.
- PHOTO DOCUMENT CONDITION OF EXISTING PAVEMENTS TO REMAIN PRIOR TO BEGINNING WORK.

EROSION CONTROL NOTES

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF DOOR COUNTY, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE. USE CONTROLS APPROPRIATE FOR FROZEN GROUND (SEDIMENT LOGS, TARPS, ETC.) DURING WINTER CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND DOCUMENTED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT. ENTRANCE SHALL MEET ALL REQUIREMENTS OF THE WDNR TECHNICAL STANDARDS FOR TRACKING PAD.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.

UTILITY NOTES

- CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE AND OWNER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL COMPLY WITH THE PERTINENT PROVISIONS OF THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- ALL BUILDING SERVICE LATERALS SHALL BE IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES.
- VERIFY WATER SERVICE CONNECTION INVERTS PRIOR TO STARTING WORK. PROVIDE A MINIMUM OF 6' OF COVER OVER ALL WATER SERVICE PIPE AND FITTINGS OR INSULATE PER CODE.
- SANITARY SEWER LATERAL SHALL BE PVC SCHEDULE 40.
- INSTALL A KNOX BOX BRAND LOCK BOX NEAR THE NORTH ENTRANCE OF THE BUILDING 4- FEET ABOVE FINISHED GRADE. THE KNOX BOX SHALL CONTAIN AT LEAST TWO SETS OF KEYS TO THE NORTH DOOR OF THE BUILDING.
- COORDINATE WITH PRIVATE UTILITIES FOR INSTALLATION OF NEW ELECTRIC, GAS, TELEPHONE, ETC. LOCATIONS SHOWN ARE APPROXIMATE.
- FIRE DEPARTMENT CONNECTION AND STANDPIPE SHALL BE 5-INCH STORZ BRAND CONNECTION 30-INCHES ABOVE FINISHED GRADE. IF CONNECTION IS HIGHER THAN 30-INCHES INSTALL ONE THIRTY-THREE AND ONE-THIRD DOWN DEGREE ANGLE CONNECTION ON THE 5-INCH STORZ CONNECTION.

LAYOUT NOTES

- ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED FROM EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- ALL HANDICAP PARKING STALLS, CURB RAMPS AND ADA ACCESSIBLE ROUTES SHALL COMPLY WITH PROVISIONS OF THE AMERICAN WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN (ADAAG) INCLUDING CROSS-SLOPE, LONGITUDINAL SLOPE, WIDTH, AND OTHER REQUIREMENTS.
- ALL STRIPING TO BE 4" WIDE, YELLOW UNLESS NOTED OTHERWISE.
- PROVIDE CONTROL JOINTS FOR EXTERIOR CONCRETE AT EVENLY SPACED INTERVALS.
- PROVIDE CONSTRUCTION JOINTS FOR EXTERIOR CONCRETE AT EVENLY SPACED INTERVALS.
- RADIUS DIMENSIONS NOT NOTED SHALL BE 3 FEET.
- BUILDING OUTLINES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON STAKING THE BUILDINGS.
- ALL SIDEWALK, DRIVEWAYS, AND PAVEMENT REMOVED AND PAVEMENT RESTORATION IN PUBLIC RIGHT OF WAY SHALL MEET DOOR COUNTY STANDARDS.

GRADING NOTES

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT MATCH POINTS AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE OR STOCKPILED AT LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF ANY MATERIAL. STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE UNTIL TEMPORARY OR PERMANENT VEGETATION COVER IS ESTABLISHED.
- THIS PLAN SHOWS NEW CONTOURS AND FINISHED GRADES. FOR ROUGH GRADES OF ALL PAVEMENT AREAS, SUBTRACT THICKNESS OF PAVEMENT AND BASE COURSE SPECIFIED.
- UPON REASONABLE NOTICE, CONTRACTOR SHALL ALLOW ACCESS TO THE PROJECT SITE DURING REASONABLE HOURS TO ANY DEPARTMENT OF NATURAL RESOURCES EMPLOYEE WHO IS INVESTIGATING THE PROJECT'S CONSTRUCTION, OPERATION, MAINTENANCE OR PERMIT COMPLIANCE.
- WHEN SPOT ELEVATIONS SHOWN REFER TO CRITICAL POINTS SUCH AS PAVEMENT ANGLE POINTS AND CURVE-TANGENT INTERSECTIONS, THEIR LOCATION WILL CORRESPOND WITH COORDINATES. VERIFY SPOT ELEVATION AND COORDINATE RELATIONSHIP WITH THE OWNER'S REPRESENTATIVE.
- REFERENCE SHEET C100 FOR BENCHMARK INFORMATION.
- ALL EXISTING MANHOLES AND INLETS, FRAMES AND GRATES, VALVE BOXES, AND UTILITY STRUCTURES THAT ARE IN AREAS TO BE REGRADED SHALL BE ADJUSTED TO MATCH THE PROPOSED GRADING.
- REFER TO STRUCTURAL AND ARCHITECTURAL PLANS FOR DETAILED INFORMATION AT BUILDING ENTRANCES AND MATCH POINTS.

PROJECT TITLE:

DOOR COMMUNITY
AUDITORIUM ANNEX

3931 WI 42
FISH CREEK, WI

ISSUE:
NO. DATE REVISIONS BY

NOT FOR CONSTRUCTION

PROJECT INFORMATION:

PROJECT NUMBER: 2024-0279.00
DATE: 09/27/2024
DRAWN BY: CEP
CHECKED BY: PJS
APPROVED BY: CEP
SCALE: AS NOTED

SHEET TITLE:

SITE PAVING PLAN &
CONSTRUCTION NOTES

SHEET NUMBER:

NOTICE: In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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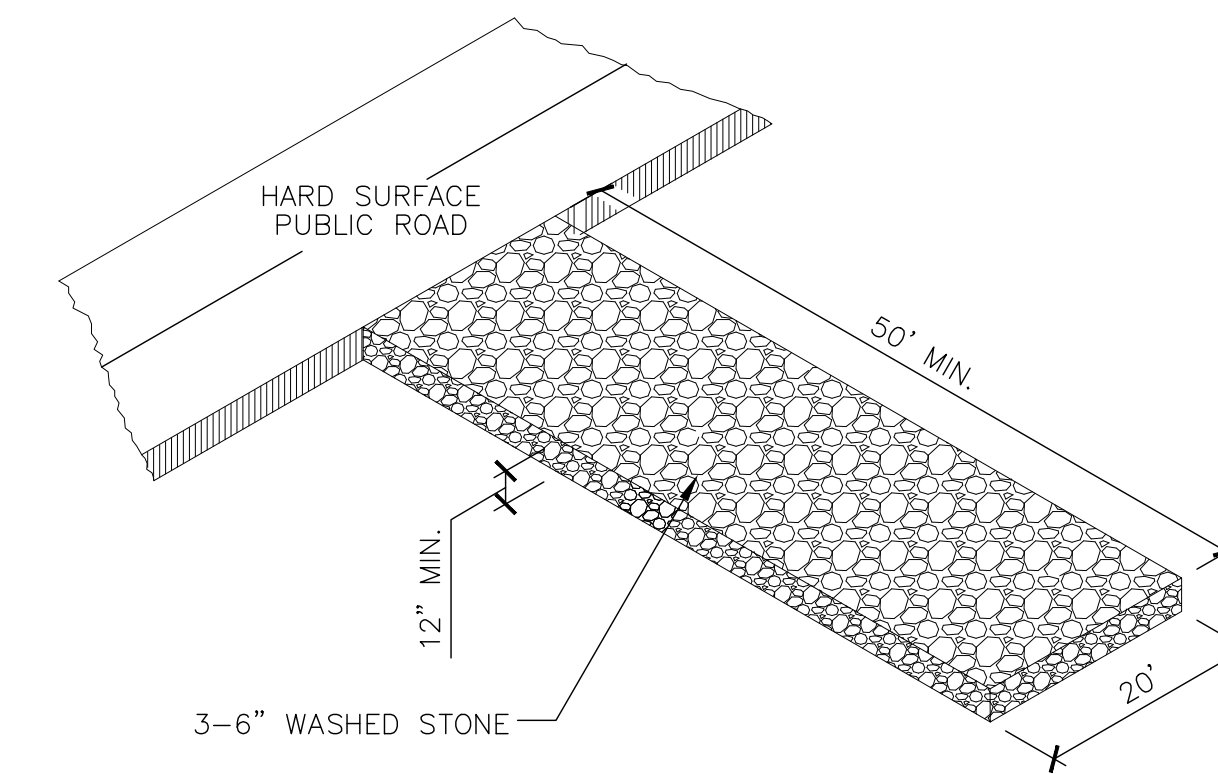
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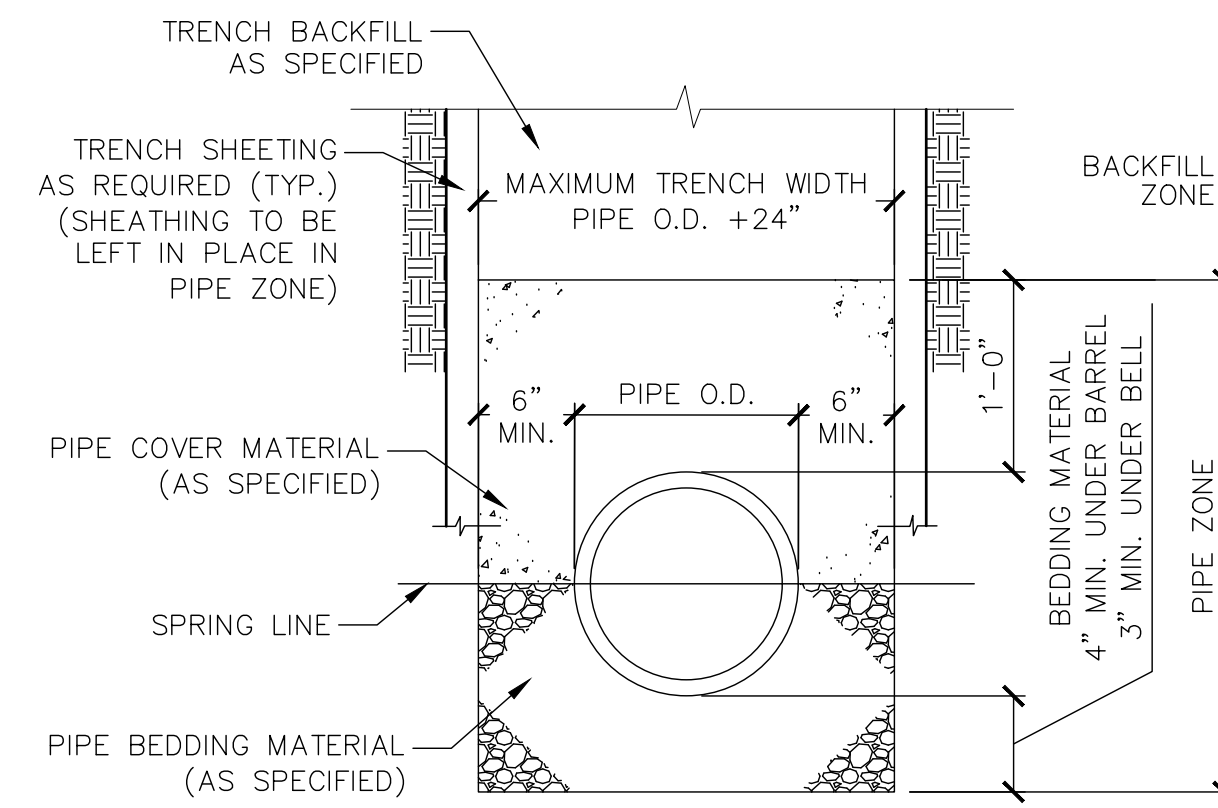
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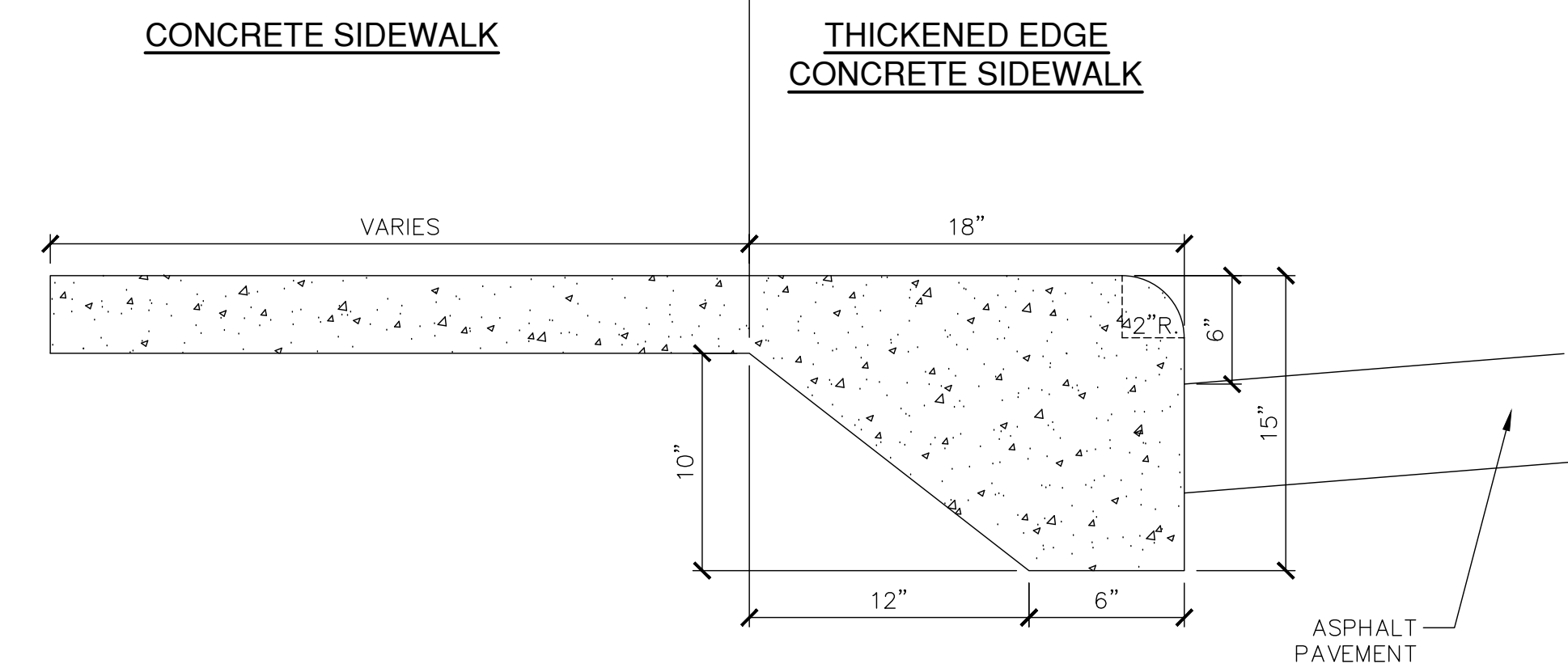
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2 **STONE CONSTRUCTION ENTRANCE**
SCALE N.T.S.

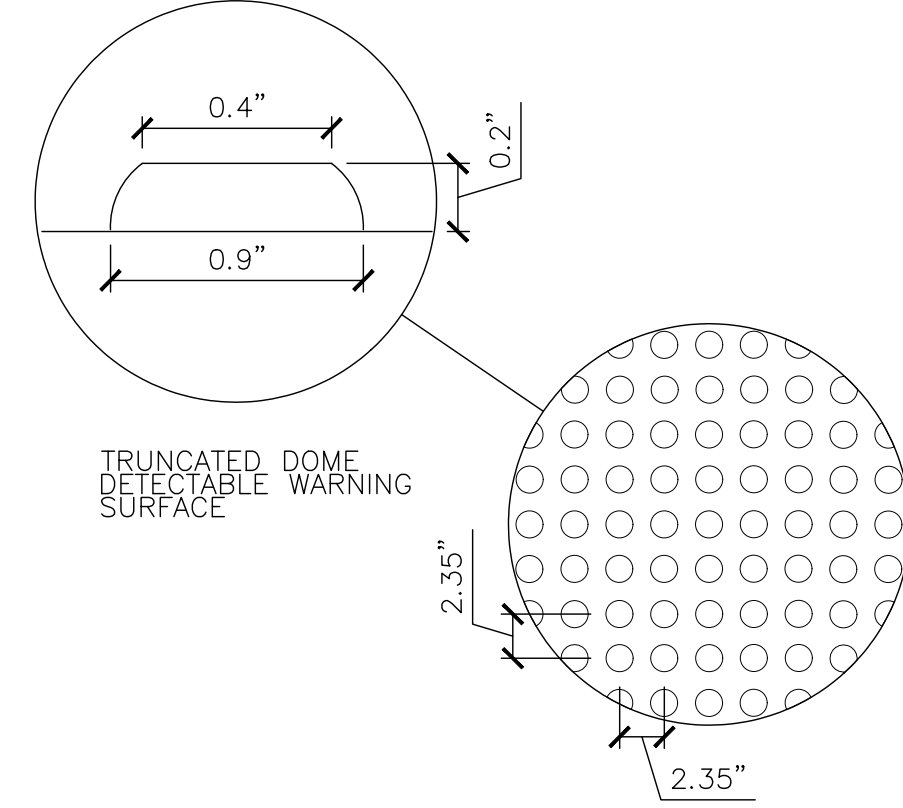


3 **CLASS "B" BEDDING DETAIL FOR SANITARY SEWER**
SCALE N.T.S.

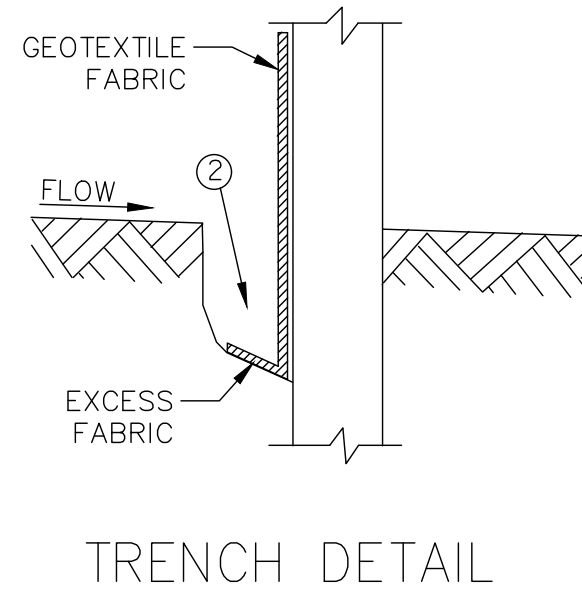


7 **TYPICAL CROSS SECTION 5" CONCRETE SIDEWALK WITH THICKENED EDGE**
SCALE N.T.S.

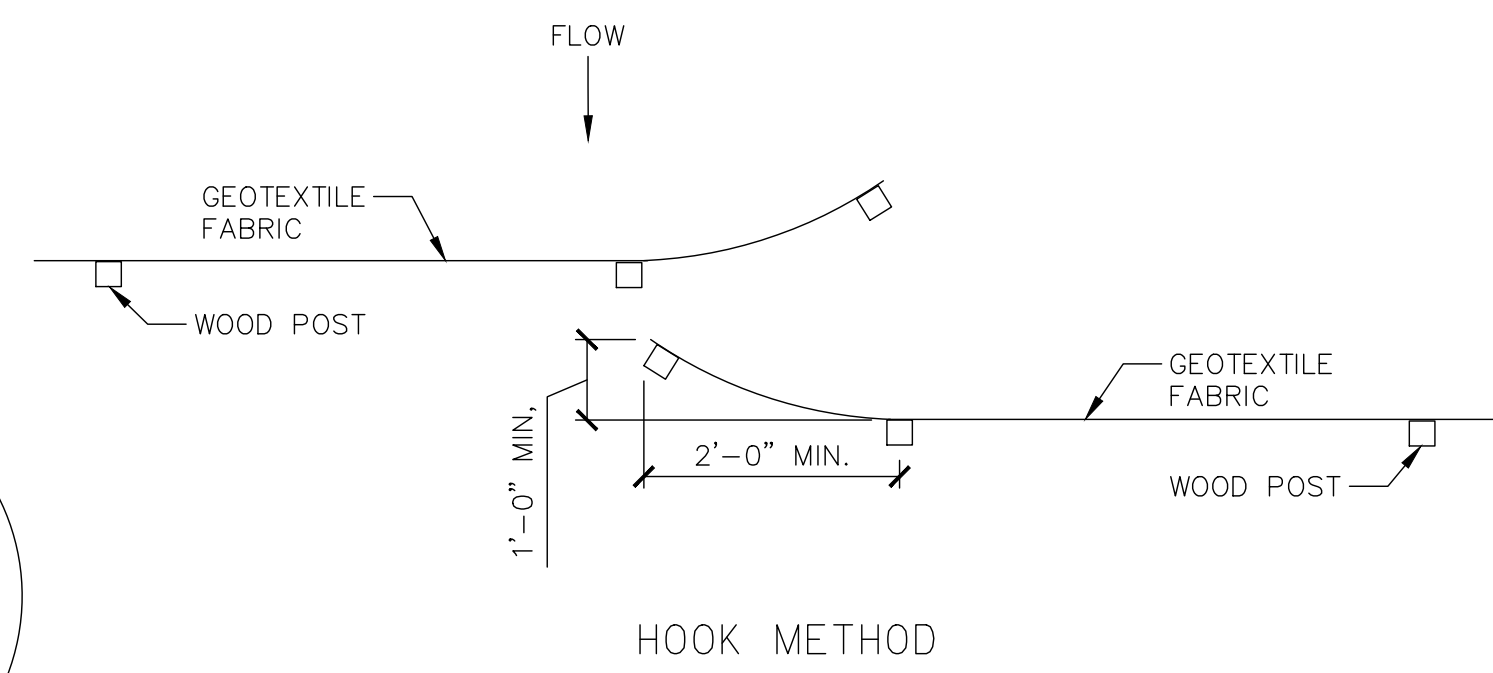
- NOTES:
1. DETECTABLE WARNING SURFACE SHALL BE A TRUNCATED DOME PANEL COATED WITH A SKID RESISTANT COATING.
 2. DETECTABLE WARNING COATING SHALL BE YELLOW.
 3. PANELS SHALL BE EMBEDDED IN CONCRETE CURB RAMPS IN ACCORDANCE WITH ADAAG REGULATIONS.



11 **DETECTABLE WARNING PATTERN**
SCALE N.T.S.

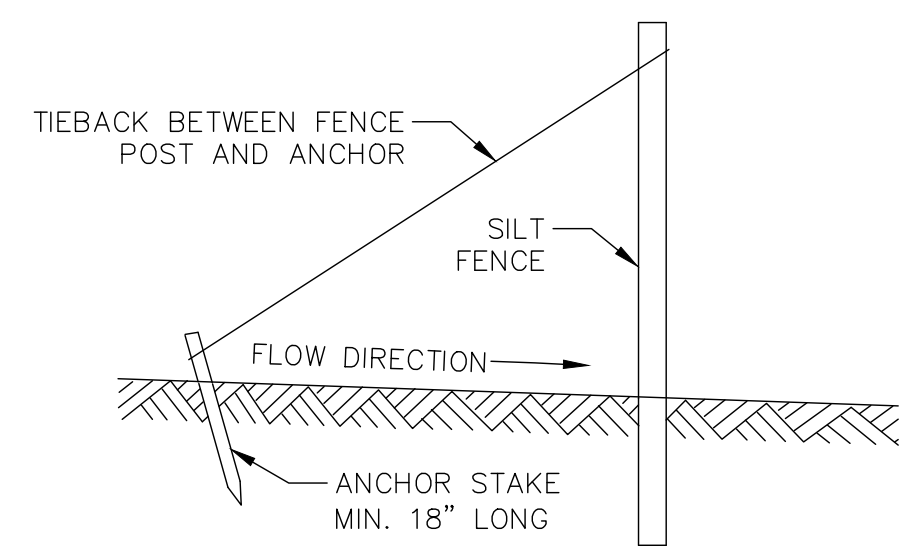


TRENCH DETAIL

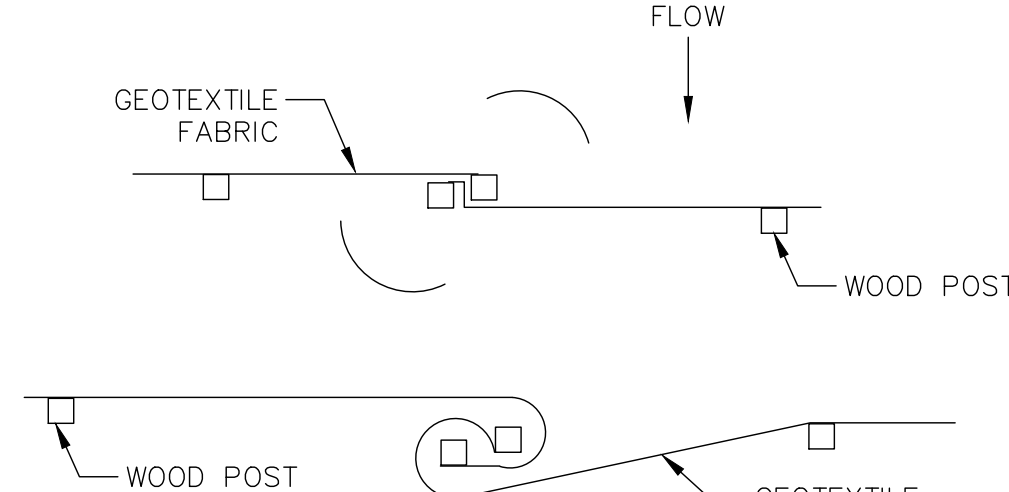


HOOK METHOD

JOINING TWO LENGTHS OF SILT FENCE ③



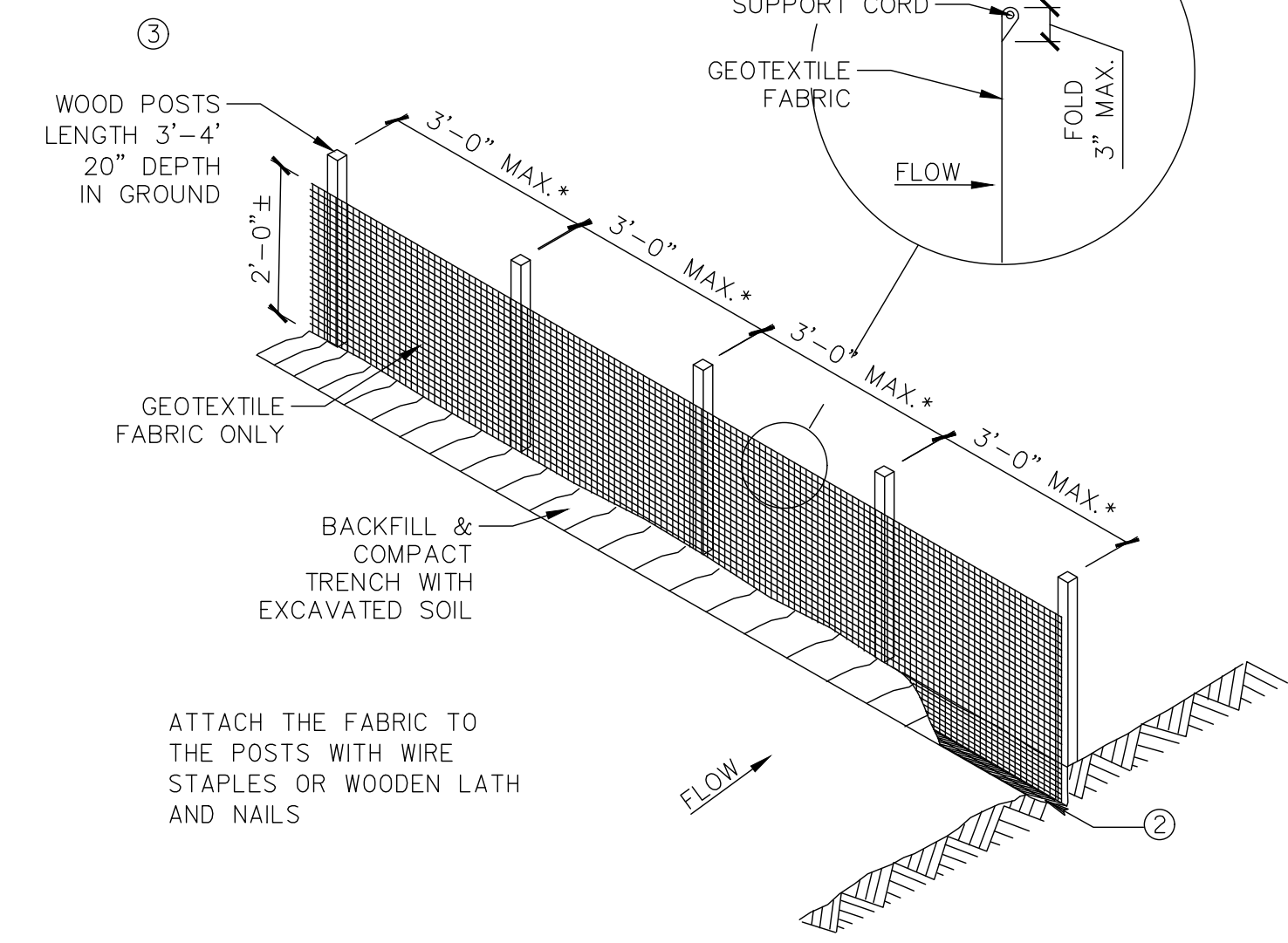
SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)



TWIST METHOD

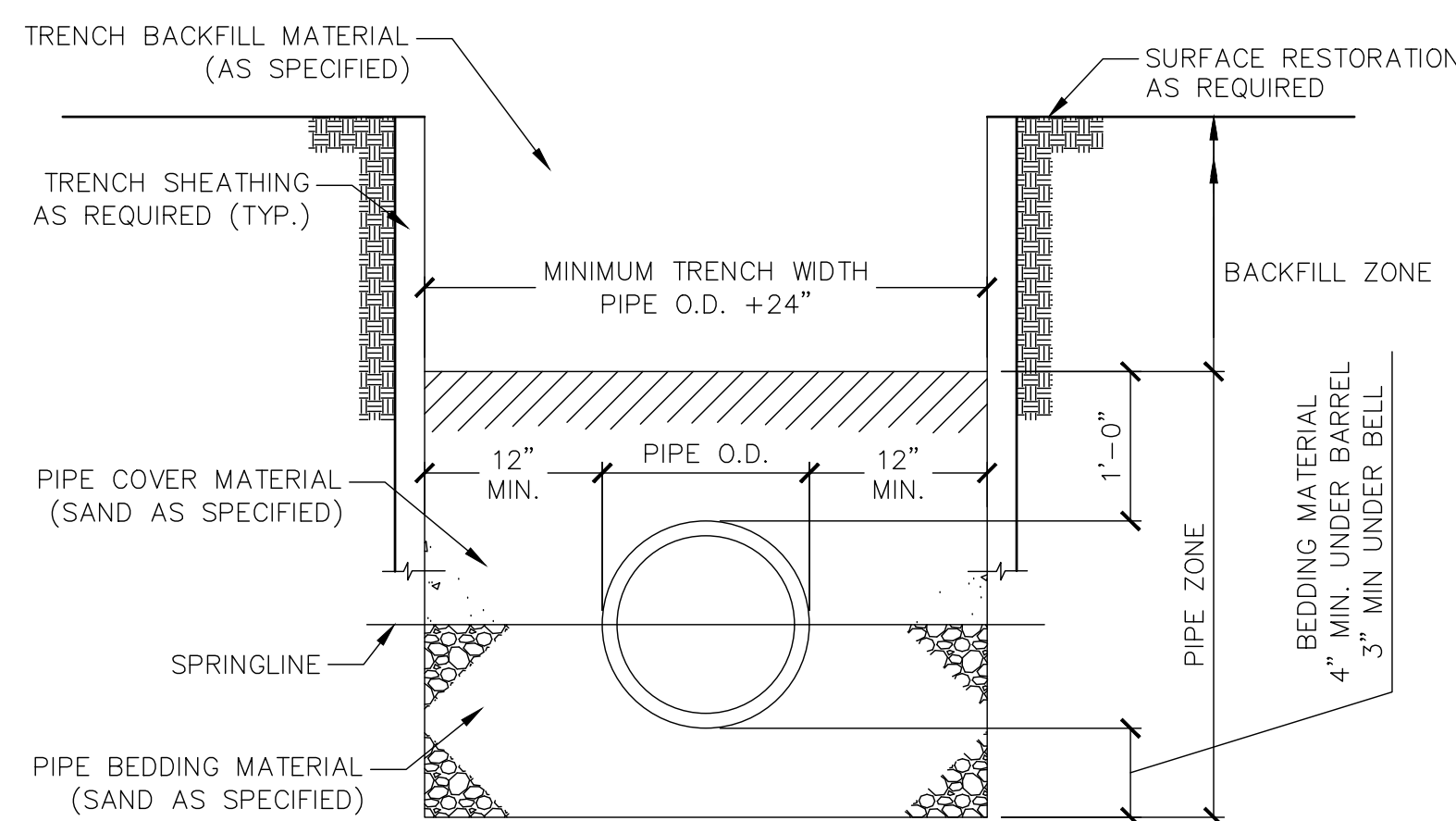
- 4 SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- 5 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

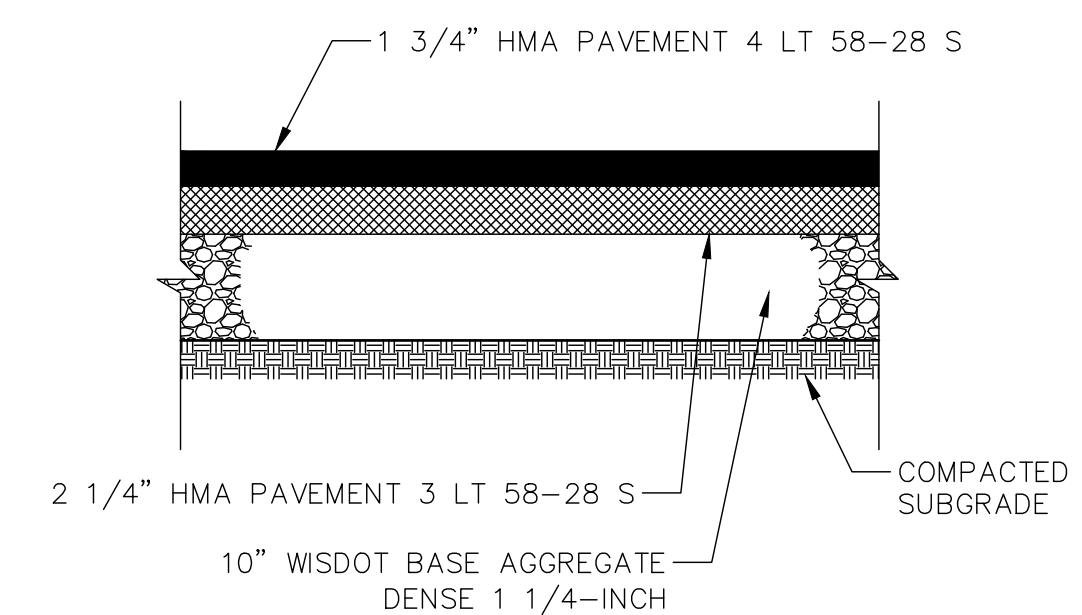


*NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

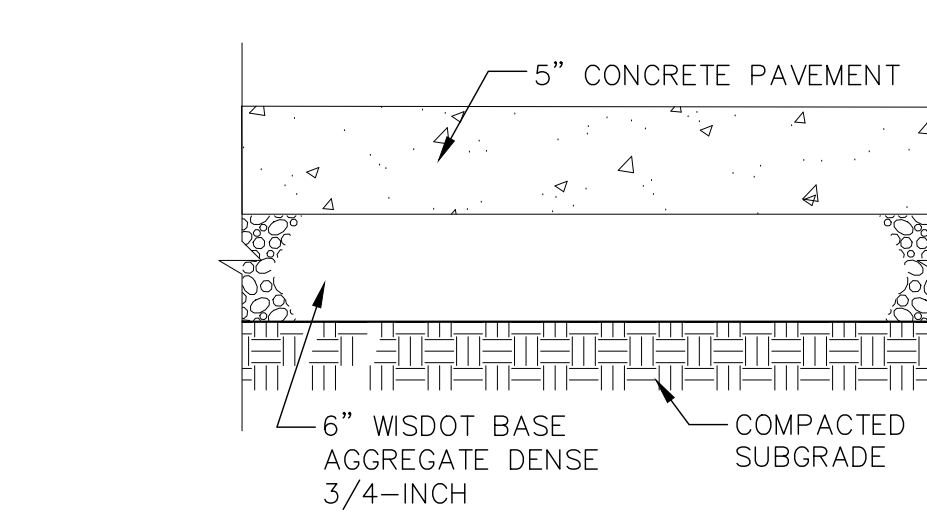
1 **SILT FENCE**
SCALE N.T.S.



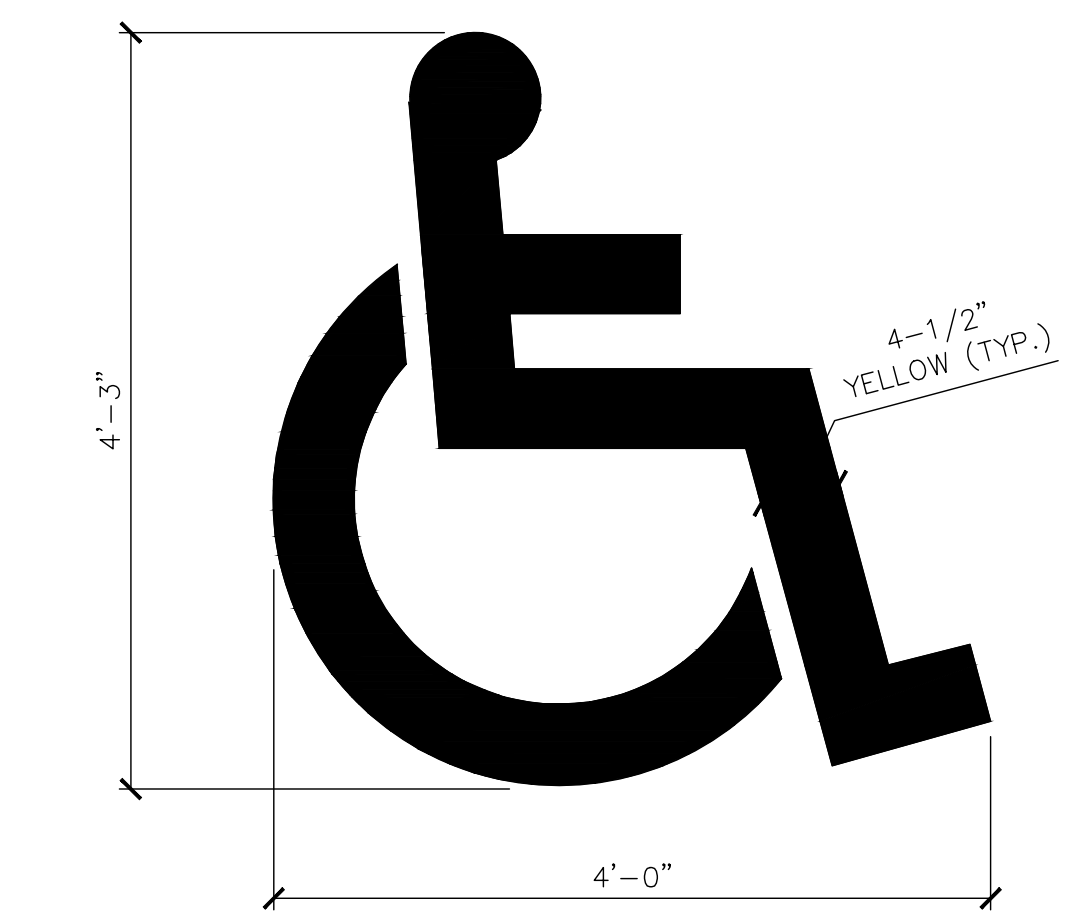
4 **WATER MAIN TRENCH DETAIL**
SCALE N.T.S.



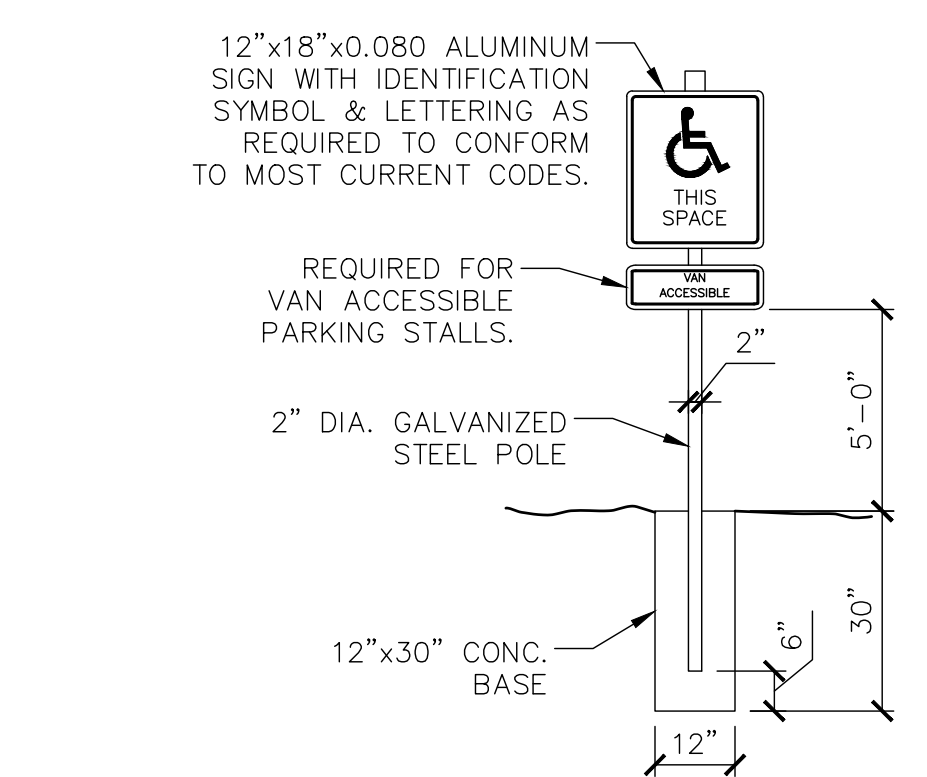
5 **TYPICAL ASPHALT PAVEMENT SECTION**
SCALE N.T.S.



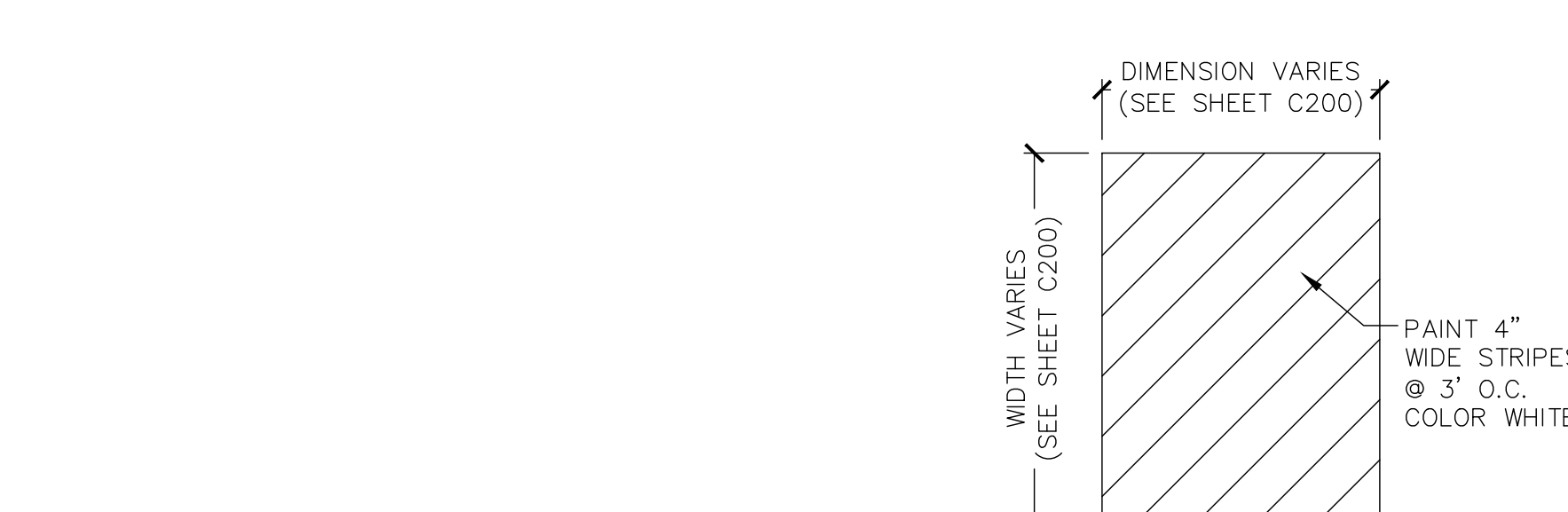
6 **CONCRETE SIDEWALK**
SCALE N.T.S.



9 **PAVEMENT MARKING HANDICAP SYMBOL**
SCALE N.T.S.



10 **WHEELCHAIR ACCESSIBLE SIGN**
SCALE N.T.S.



8 **CROSS STRIPING**
SCALE N.T.S.

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. GRÄEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRÄEF further does not warrant that the underground utilities shown are in the exact location indicated. GRÄEF has not physically located the underground utilities.

PROJECT INFORMATION:

PROJECT NUMBER: 2024-0279.00
DATE: 09/27/2024
DRAWN BY: CEP
CHECKED BY: PJS
APPROVED BY: CEP
SCALE: AS NOTED

SHEET TITLE:

CONSTRUCTION DETAILS

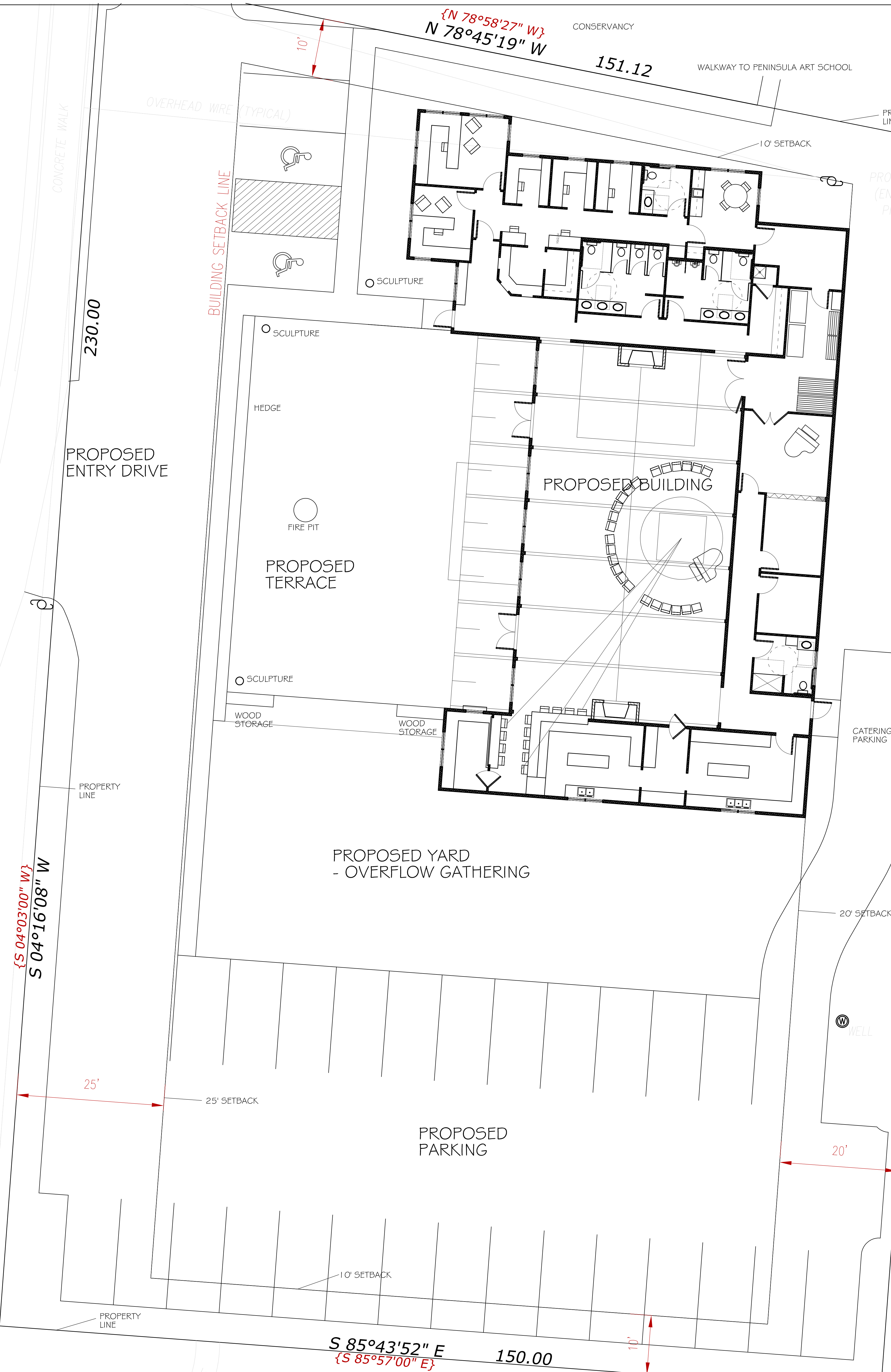
SHEET NUMBER:

S.T.H. '42'

CONCRETE CURB & CUTTER
CONCRETE WALK

(FIRE NO. 3931)

1" FOUND STEEL PIPE -
N. 46°27'23" W., 0.32'
FROM CORNER



Parcel Contains
33,123 sq. ft.
(0.76 acres)

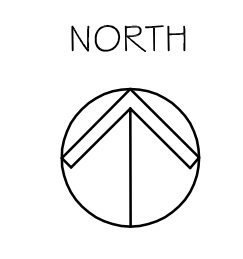
211.65

151.12

230.00

150.00

SITE PLAN
SCALE: 1/8" = 1'-0"



REVISED:

DATE:
8/22/2024
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SHEET
C1.1

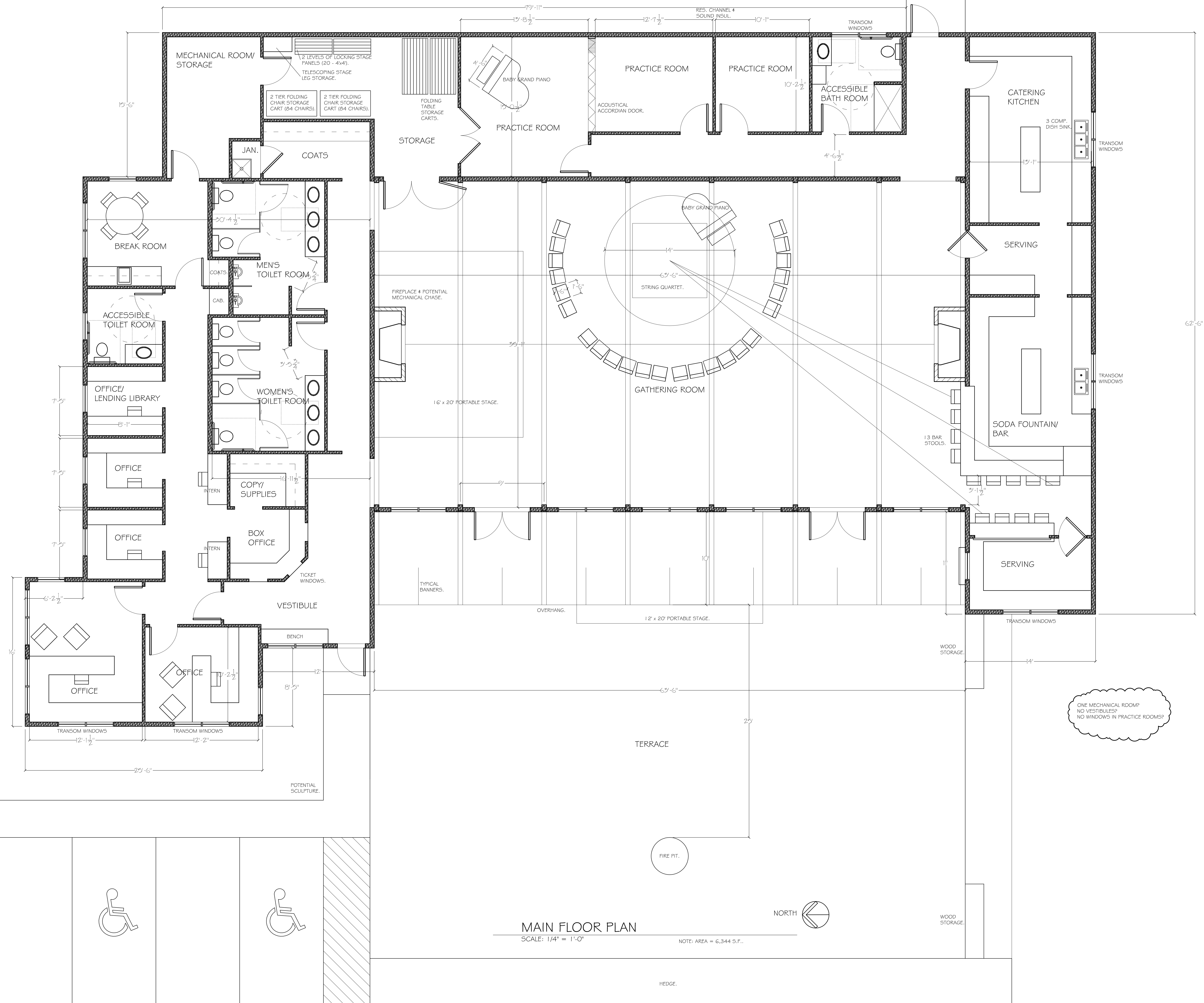
PRO. NO.

C. RENIER ARCHITECTS, INC.
348 MAIN AVENUE
DE PERE, WISCONSIN 54115
PH: (920) 330-0500

SITE PLAN

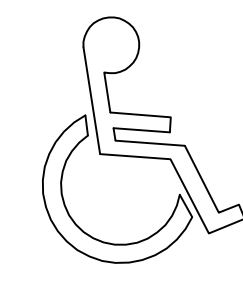
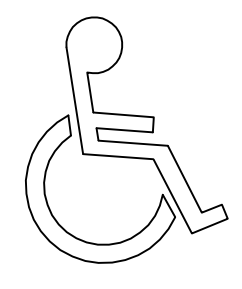
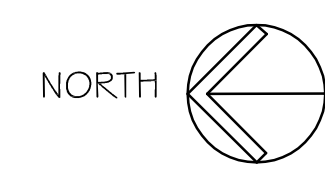
DRAWN: C.C.R.
CHECKED: C.C.R.
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DOOR COMMUNITY AUDITORIUM - NEW GATHERING PLACE
FISH CREEK, WISCONSIN



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0" NOTE: AREA = 6,344 S.F..



ONE MECHANICAL ROOM?
NO VESTIBULES?
NO WINDOWS IN PRACTICE ROOMS?

REVISED: 7-31-2024, 8-9-2024, 8-16-2024, 8-19-2024

C. RENIER ARCHITECTS, INC.
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DE PERE, WISCONSIN 54115
PH: (920) 330-0500

DATE:
7/16/2024
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A1.1E

PRO. NO.

MAIN FLOOR PLAN

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DOOR COMMUNITY AUDITORIUM - NEW GATHERING PLACE
FISH CREEK, WISCONSIN



WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

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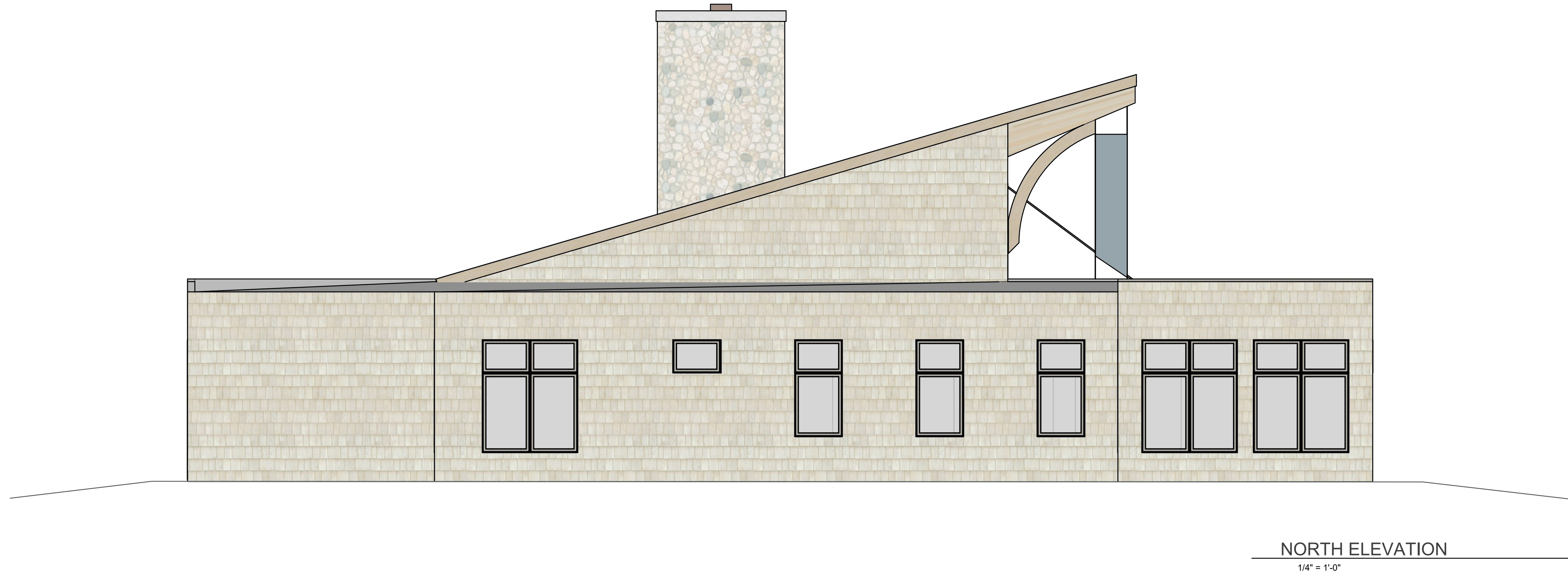
ELEVATIONS

C. RENIER ARCHITECTS,
348 MAIN AVENUE
DE PERE, WISCONSIN 54115
PH: (920) 330-0500

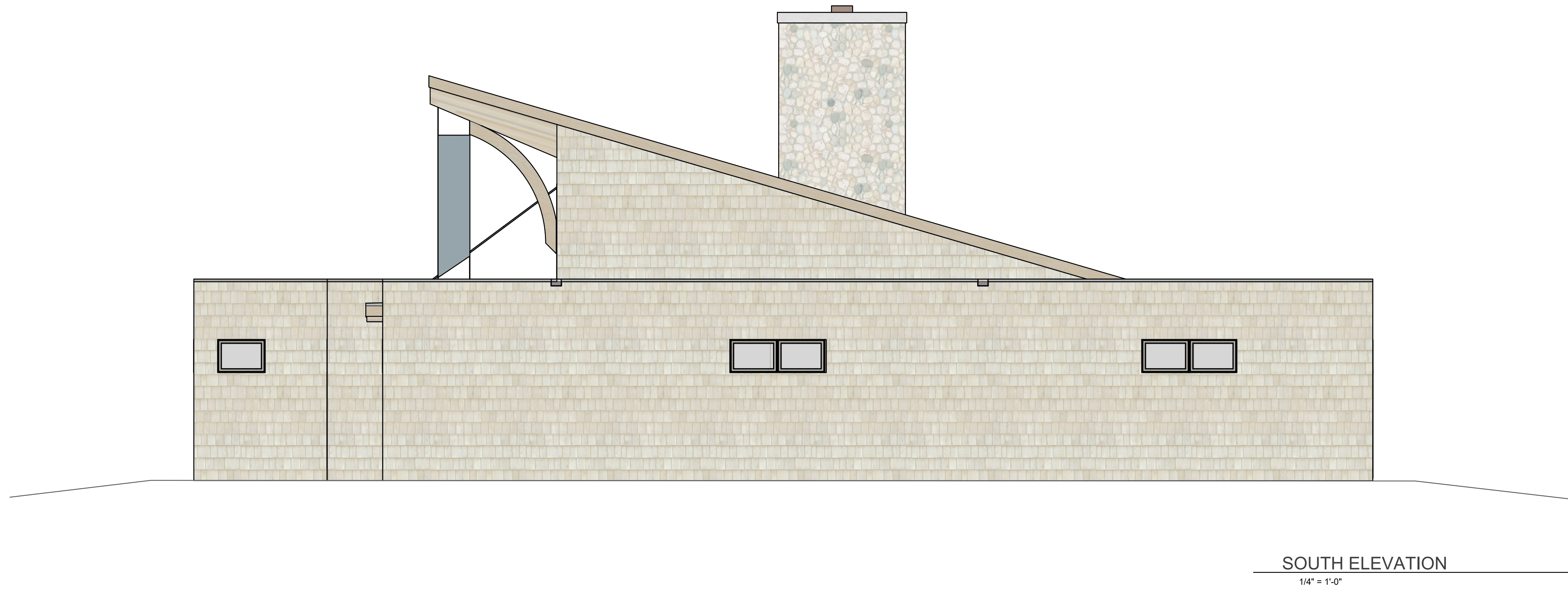
DATE:
9/4/2024
@ COPYRIGHT

SHEET
A2.3

PRO. NO.



NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

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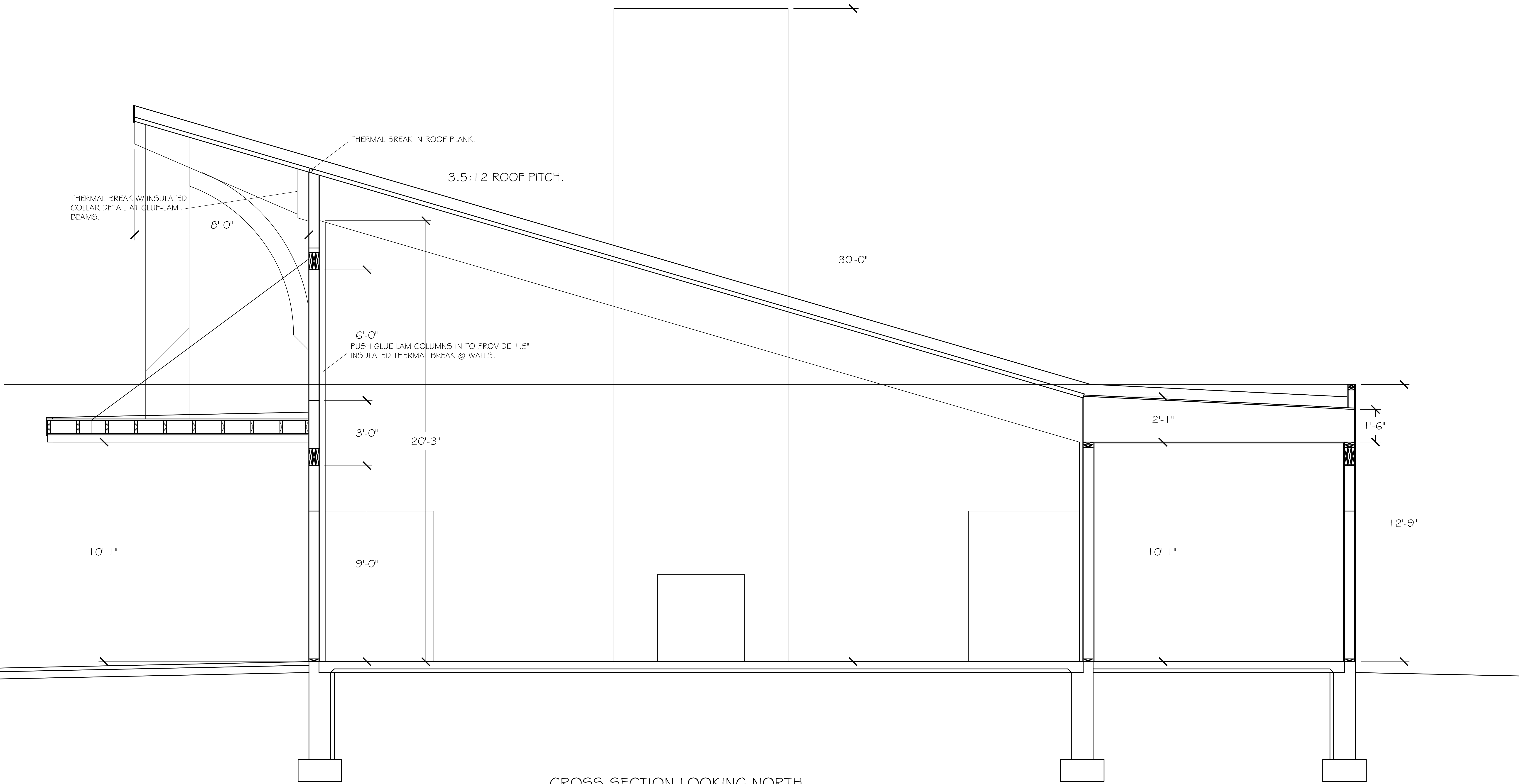
ELEVATIONS

C. RENIER ARCHITECTS,
348 MAIN AVENUE
DE PERE, WISCONSIN 54115
PH: (920) 330-0500

DATE:
9/4/2024
@ COPYRIGHT

SHEET
A2.4

PRO. NO.



CROSS-SECTION LOOKING NORTH
SCALE: 1/2" = 1'-0"

REVISED:

DATE:
7/11/2024
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A3.1

PRO. NO.

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348 MAIN AVENUE
DE PERE, WISCONSIN 54115
PH: (920) 330-0500

CROSS SECTION STUDY

DRAWN: C.C.R.
CHECKED: C.C.R.
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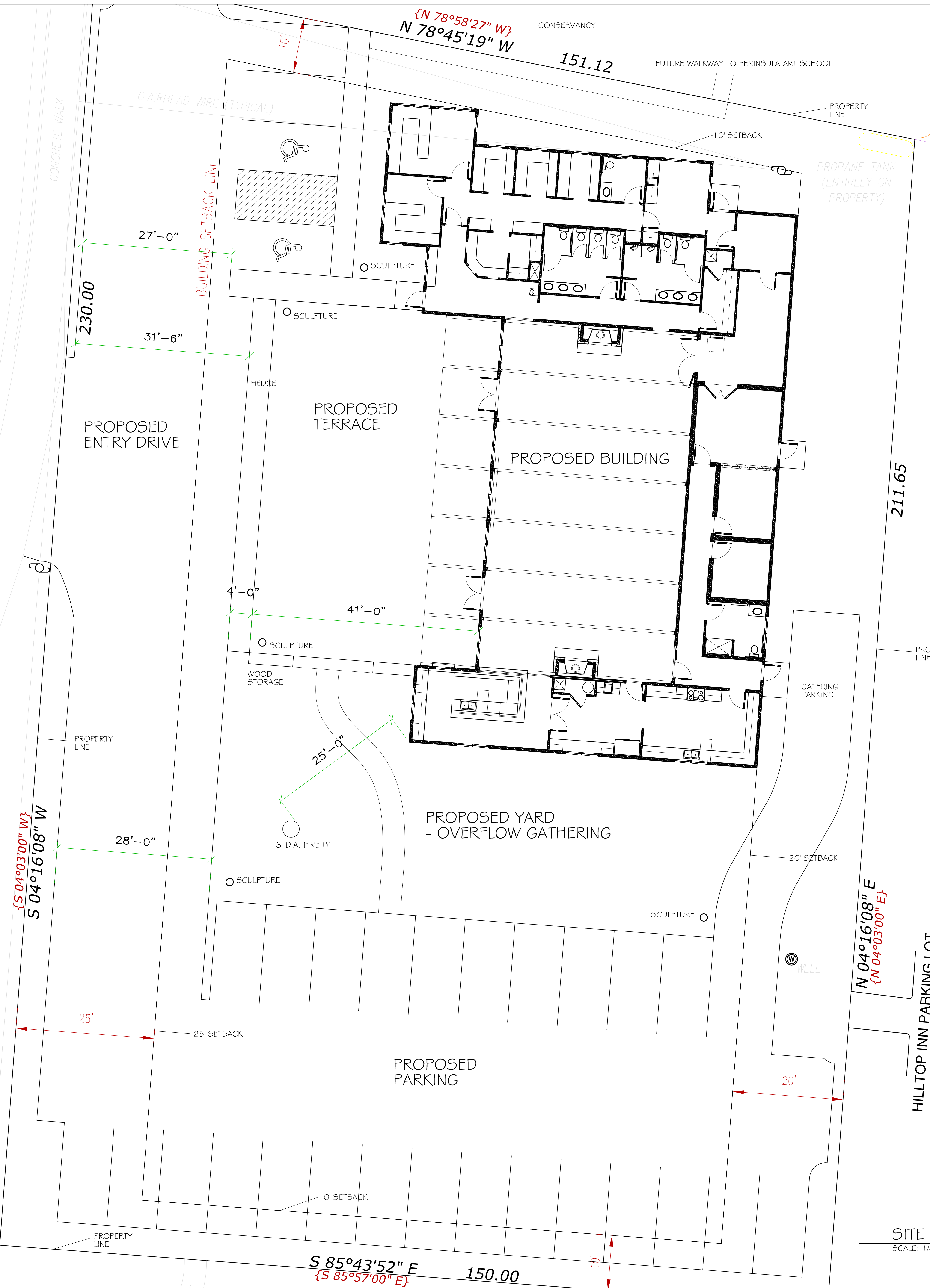
DOOR COMMUNITY AUDITORIUM - NEW GATHERING PLACE
FISH CREEK, WISCONSIN

S.T.H. '42'

CONCRETE CURB & CUTTER
CONCRETE WALK

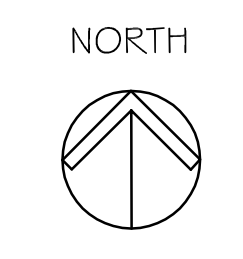
(FIRE NO. 3931)

1" FOUND STEEL PIPE -
N. 46°27'23" W., 0.32'
FROM CORNER



Parcel Contains
33,123 sq. ft.
(0.76 acres)

SITE PLAN
SCALE: 1/8" = 1'-0"



REVISED:

DATE:	12/1/2024
© COPYRIGHT	
SHEET	C1.1
PRO. NO.	

C. RENIER ARCHITECTS, INC.
348 MAIN AVENUE
DE PERE, WISCONSIN 54115
PH: (920) 330-0500

SITE PLAN

DRAWN:	CC.R.
CHECKED:	CC.R.

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DOOR COMMUNITY AUDITORIUM - NEW GATHERING PLACE
FISH CREEK, WISCONSIN

**LEASE AGREEMENT BETWEEN
GIBRALTAR AREA SCHOOL DISTRICT
AND
DOOR COMMUNITY AUDITORIUM CORPORATION**

This Lease Agreement ("Agreement") is made effective as of the first day of July 2011, by and between Gibraltar Area School District ("District") and Door Community Auditorium Corporation ("DCAC"). This Agreement supersedes any and all prior agreements between District and DCAC, whether written or oral.

RECITALS

A. District is the owner of the facility known as the Door Community Auditorium, an auditorium facility which is attached to the Gibraltar School building owned by District which is located in Fish Creek, Door County, Wisconsin ("Auditorium").

B. DCAC has operated the Auditorium since it was constructed pursuant to a series of lease agreements between District and DCAC.

C. District and DCAC now wish to enter into a revised lease agreement as hereinafter set forth.

NOW, THEREFORE, for valuable consideration, the receipt and sufficiency of which is acknowledged by the parties hereto, District and DCAC agree as follows:

AGREEMENT

1. Leased Premises. For purposes of this Agreement, the leased premises ("Premises") shall consist of three separate areas of the Auditorium structure, each of which shall be subject to different terms and conditions as hereinafter set forth.

A. Office Space.

- 1) The Office Space shall consist of the following areas within the Auditorium:
 - a) Main lobby entry
 - b) Box office
 - c) DCAC office
 - d) Backstage "tech" office space
 - e) Attic storage (which consists of upper-level storage rooms located on either side of the Auditorium stage)
 - f) Access to restrooms
 - g) Incidental use of the Green room, sound and light booth, and backstage areas (it being the understanding of the parties that DCAC may use these areas from time to time while maintaining the thermostat settings called for in subparagraph 1.B6 below)
 - h) Parking area on south side of Auditorium

- 2) **Equipment, Insurance, and Services Provided by DCAC.** The following equipment, insurance, and services shall be provided by and at the expense of DCAC within the Office Space:
 - a) Telephone
 - b) Internet
 - c) Office equipment
 - d) Cleaning of box office and DCAC office
 - e) Casualty insurance for DCAC equipment and records
 - f) Liability insurance for DCAC activities

- 3) **Utilities and Services Provided by District.** The following utilities and services for the use of Office Space which shall be provided by and at the expense of District:
 - a) Electricity
 - b) HVAC
 - c) Sewer service
 - d) Restroom cleaning on a weekly basis
 - e) Recycling and waste hauling
- 4) **Occupancy.** DCAC will have exclusive occupancy of the Office Space for the term of this Agreement.
- 5) **Rent.** DCAC shall pay to District as and for rent for the Office Space the sum of \$1,000 per month, payable in advance and commencing on the 1st day of July, 2011 and on the same day of each month thereafter. –

B. Auditorium.

- 1) The Auditorium shall consist of the following areas.
 - a) Main house and stage
 - b) Sound and light booth
 - c) Projection booth
 - d) Green room
 - e) Dressing rooms
 - f) Tech and loading area
 - g) Pit
 - h) Event parking
- 2) **Services Provided by DCAC.** The following services shall be provided by DCAC in connection with the use of the Auditorium:
 - a) DCAC shall maintain, repair and replace its sound and lighting equipment and maintain casualty insurance thereon.
- 3) **Utilities and Services Provided by District.** The following utilities and services shall be provided by and at the expense of District in connection with DCAC's use of the Auditorium:
 - a) Electricity
 - b) HVAC
 - c) Sewer service
 - d) Cleaning
 - i) Main house
 - ii) Green room
 - iii) Dressing room
 - iv) Lobby
 - v) Restrooms (after each event only)
 - e) Recycling and waste hauling.
- 4) **Occupancy.** The District will establish an annual calendar of Gibraltar school-use days by March 1 for the subsequent year of the lease. All days not reserved by District are available for DCAC rental, with a minimum of 80 such rental days during the term. Days which are not rented by DCAC shall revert to District. The services set forth under Items 3)a) – d) above are included in the daily rental.
- 5) **Rent for Auditorium.** Rent for the Auditorium shall be \$250.00 per day. Rent, based on a minimum of 80 rental days, shall be paid as follows: \$1,000.00 per month for the months of January through June; \$2,333.33 per month for the

months of July through December. In addition, for any rental days in excess of the 80-day minimum, District shall bill DCAC therefor on the first workday of the following month.

6) **Thermostat settings.**

- a) When the main house and rooms are not occupied, all lights shall be turned off and HVAC shall be set at 55°F during the heating season and 75°F during the cooling season.

C. **Fireplace Lobby.**

1) The Fireplace Lobby shall consist of the following:

- a) Entry
- b) Lobby
- c) Access to restrooms
- d) Event parking

2) **Utilities and Services Provided by District.** District shall be responsible for the following at its expense:

- a) Cleaning
- b) Electricity
- c) HVAC
- d) Recycling and waste hauling.

3) **Terms and Rent for Fireplace Lobby.** DCAC may rent the Fireplace Lobby separate from the entire Auditorium on a daily basis at a cost of \$100 per event. After the 80-day minimum rental requirement has been satisfied, District shall bill DCAC therefor on the first workday of each month for the previous month's use.

Alternatively, and solely at the option of DCAC, DCAC may elect to count any one or more rentals of the Fireplace Lobby toward the 80-day minimum set forth above.

D. **Link Gallery.** Use of the Link Gallery is not included in this Agreement. The Link Gallery shall continue to be available as a hallway to the Auditorium, and DCAC may continue to curate the exhibits in the Link Gallery.

2. **Term.** The initial term of this Agreement shall be five (5) years commencing on the effective date hereof.

It is understood by both DCAC and the District that, on the annual anniversary of this agreement, the terms of the agreement will automatically renew for an additional five year period, unless 60 days prior to the anniversary either party requests a review by the parties of this agreement to the entirety of the lease agreement. The review shall include adjustments in the amount of rent as well as other terms and conditions. After such review, if both parties agree, this agreement or modification of this agreement shall be renewed for an additional five-year period. An amended renewal shall be by mutual agreement and a renewal document executed and signed by representatives of DCAC and the District. If, after review, agreement cannot be reached, this agreement remains in effect until it either expires, another condition causing termination occurs, or such time that a new agreement is reached.

3. **Good Will Events.** District will consider allowing up to twelve (12) days of "good will" event usage during the term of this Agreement. (A "good will" event, including setup and takedown, may require more than one day's use of the Auditorium.) A "good will" event will permit a qualified community group to use the Auditorium regardless of its ability to pay rent and/or expenses for such use. Application by a community group for use of the Auditorium and on a

good will basis shall be made to the District for its consideration, which shall be handled on a case-by-case basis. Such event(s) shall not be included in DCAC's contracted usage as provided for in this Agreement. DCAC shall provide technical support at all good will events free of charge and for no consideration, provided that all "good will" events requiring DCAC staff participation shall be scheduled with DCAC to conform to DCAC staff schedules. Any supplemental equipment rentals would be the responsibility of the community group.

4. **Long-term Maintenance.** Maintenance of the Auditorium shall be the responsibility of the District. In lieu of including maintenance costs within the rent, DCAC will contribute \$2,500 to the District on July 1, October 1, January 1 and April 1 for the long-term maintenance of the Auditorium.
5. **Insurance.** DCAC shall keep in full force and effect comprehensive public liability insurance for DCAC's use of the Premises with insurance companies approved by District insuring District, DCAC, and any other parties designated by District for injury or death to one (1) person in an amount of not less than One Million Dollars (\$1,000,000), for injury or death to more than one person in any accident per occurrence in an amount of not less than Two Million Dollars (\$2,000,000), and for damage to DCAC's equipment, furnishings, and documents in amounts deemed necessary by DCAC to cover such equipment, furnishings, and documents. Yearly, DCAC shall furnish a certificate evidencing such insurance. Such policies of insurance shall contain provisions preventing their cancellation, discontinuance or alteration without at least ten (10) days' prior written notice to District. Such policies of insurance shall also contain a provision that DCAC's waiver of liability on the part of District shall not invalidate such insurance. Any payments made to District by reason of such insurance shall be applied on DCAC's covenant to hold District harmless on account of the occurrence for which the insurance recovery is made. If DCAC fails to comply with the aforesaid requirements, District may obtain such insurance and keep the same in force and effect and DCAC shall pay District the cost thereof, on demand, as additional rent.

District shall maintain insurance on the Premises and all District property located therein and pay all of the premiums on such insurance against fire and other normal hazards to the replacement value of the building and personal property. In addition, liability insurance will be maintained for the Premises which will cover District, District board members and employees against claims for losses, injuries, or other damages by users of the Auditorium or other persons or entities on the Premises. To the extent possible, such policies shall name DCAC as an additional insured party.

6. **Contents, Equipment, and Fixtures.** DCAC shall be responsible for obtaining such insurance as it may deem advisable for all of its contents located within the Premises.
7. **Increase in Fire or Casualty Insurance.** If DCAC's occupancy of the Premises or any portion thereof causes any increase in premiums for fire or casualty insurance on the Auditorium building or the Premises or any part thereof, above the rate of the least hazardous type of occupancy legally permitted on or in the Premises, DCAC shall pay the additional premiums on such insurance. The parties agree that the historical uses of the Premises by DCAC are within the scope of expected uses of the Premises by DCAC during the term, and do not give rise to any obligation for additional premiums on the part of DCAC under this paragraph.
8. **Covenants to Hold Harmless.** DCAC agrees to indemnify and save District against and from any and all claims, damages, costs, and expenses, including reasonable attorney's fees, arising from the conduct or management of the business conducted by DCAC on the Premises or from any breach or default on the part of DCAC in the performance of any covenant or agreement on the part of DCAC to be performed pursuant to the terms of this Agreement, or from any active negligence of DCAC, its agents, contractors, servants, employees, or licensees in or about the Premises. If any action or proceeding is brought against District by reason of any such claim, DCAC, upon notice from District, covenants to defend such action or proceeding by counsel reasonably satisfactory to District. District agrees to indemnify and save DCAC against and from

any and all claims, damages, costs, and expenses, including reasonable attorney's fees, arising from the conduct or management of the District's activities on the Premises or from any breach or default on the part of the District in the performance of any covenant or agreement on the part of the District to be performed pursuant to the terms of this Agreement, or from any negligence of District, its agents, contractors, servants, employees, or licensees in or about the Premises. If any action or proceeding is brought against DCAC by reasons of such claim, District, upon notice from DCAC, covenants to defend such action or proceeding by counsel reasonably satisfactory to DCAC.

9. **Loss or Injury of DCAC or Others.** District shall not be liable for any damage to property of DCAC or of others located on the Premises, nor for the loss of or damage to any property of DCAC or of others by theft or otherwise. District shall not be liable for any injury or damage to persons or property resulting from fire, explosion, falling plaster, steam, gas, electricity, water, rain or snow, or leaks from any part of the Premises or from the pipes, appliances or plumbing works, or from the roof, street or subsurface, or from any other place, or by any other cause of whatsoever nature unless such injury or damage shall be caused by the willful act or gross neglect of District. The parties agree that the foregoing sentence is not intended to shift the responsibility for the same to DCAC, and no hold harmless provision under this Agreement shall be deemed to create an obligation on the part of DCAC with regard to any such injury or damage. All property of DCAC kept or stored on the Premises shall be so kept or stored at the risk of DCAC only and DCAC shall hold District harmless from any claims arising out of damage to the same, including subrogation claims by DCAC's insurance carrier, unless such damage shall be caused by the willful act or gross neglect of District.
10. **Alterations and Installments by DCAC.** DCAC shall not make or cause to be made any alterations, additions or improvements or install or cause to be installed or remove any trade fixtures, exterior signs, floor covering, interior or exterior lighting, plumbing fixtures or mechanical equipment, or make any changes to the Premises without first obtaining District's written consent therefor. DCAC shall present to District plans and specifications for such work at the time approval is sought. DCAC will not place or suffer to be placed or maintained on any exterior door, wall or window of the Premises, or on the roof thereof, any sign, awning, aerial, or advertising matter or other thing of any kind, and will not place or maintain any decoration, lettering or advertising matter on the glass or any window or door of the Premises, without first submitting plans therefor in writing to District and obtaining District's written consent thereto. DCAC shall be solely responsible for securing and obtaining any necessary municipal or regulatory approvals, licenses or permits therefor. DCAC further agrees to maintain such sign, awning, canopy, aerial, decoration, lettering, advertising matter or other thing as may be approved in good condition and repair at all times and promptly repair any injury or damage to the Premises caused by the same. Notwithstanding the foregoing, DCAC may continue to place temporary signs from time to time consistent with past practices, including (without limitation) "Performance Tonight" signs, art flags, sandwich boards and parking directions, at all times subject to all applicable governmental regulations.
11. **Liens and Obligations.** DCAC shall not create or permit others to create any lien or obligation against District or the Premises by reason of making repairs or installing material, fixtures or equipment, and DCAC further agrees to hold District harmless from all claims and demands by any third party in any manner connected with such repairs or installations or with DCAC's occupancy of the Premises.
12. **Conduct of Business.** DCAC shall use the Premises solely as and for an entertainment and education venue, including ancillary activities such as concessions and merchandise sales, and for no other purpose. Rentals to third parties, including performers and community groups, are within the scope of DCAC's business under this agreement. Other than "good will" events provided for above, all rentals or other uses of the Auditorium by third parties shall be handled exclusively by DCAC. There shall be no residential use of the Premises during the Term of this Agreement. DCAC shall not use nor permit the use of the Premises for any other business or purpose

whatsoever. Any and all use of the Premises shall be in compliance with all School Board policies relating to the use of school facilities, including, but not limited to, all Alcohol, Tobacco, and other Drug regulations.

13. **Waste or Nuisance.** DCAC shall not commit waste or suffer to be committed any waste upon the Premises.
14. **Governmental Regulations.** DCAC shall, at DCAC's sole cost and expense, observe and comply with all ordinances or laws, rules, and regulations of the Town of Gibraltar, County of Door, State of Wisconsin, United States of America, or any agencies thereof or any other applicable governmental authority, now in force, or which may hereafter be in force, pertaining to the Premises or DCAC's use or occupancy thereof, except that DCAC shall not be required to comply with any laws, regulations or orders by governmental authority necessitating alterations, changes, repairs or additions of a structural nature unless made necessary by any act or work performed by DCAC, in which case DCAC shall comply, at its own expense, after first procuring the written consent of District.
15. **Destruction of Premises.** If the Premises are damaged or partially destroyed by fire or other casualty to the extent of less than one-fourth of the then-cost of replacement thereof above the foundation, the same shall be repaired as quickly as is practicable by District. If the Premises are so destroyed or damaged to the extent of one-fourth or more of the then-replacement cost thereof, then District may elect not to repair or rebuild by giving notice in writing terminating this Agreement, in which event this Agreement shall be terminated as of the date of such notice.
16. **Rebuilding by District.** If District shall undertake to restore or repair the Premises, it shall initiate and pursue the necessary work with all reasonable dispatch, in a manner consistent with sound construction methods.
17. **Abatement of Rent Upon Destruction of Premises.** If such damage or partial destruction renders the Premises wholly untenable, the rent shall abate until the Premises have been restored and rendered tenantable. If such damage or partial destruction renders the Premises untenable only in part but does not result in DCAC having to shut down its business, then the rent shall abate proportionately as to the portion of the Premises rendered untenable. Any such abatement shall consider the importance of the summer and early-fall season to DCAC.
18. **Assignment or Subletting.** DCAC shall not assign or in any manner transfer this Agreement and shall not sublet the Premises or any part(s) thereof, without the prior written consent of District in each instance. This Agreement, and DCAC's interest therein, shall not be assignable by operation of law. District's right to assign this Agreement is and shall remain absolute and unqualified.
19. **Rent Default.** If DCAC defaults in the payment of Rent when due by more than sixty (60) days, such failure, at the sole option of District, shall work a forfeiture of this Agreement, provided, however, that DCAC shall not be released from any liability for Rent hereunder by reason of District's repossession of the Premises or by District's taking any other legal proceedings available to it upon such default, nor shall a forfeiture of this Agreement release DCAC from continuing liability for payment of Rent accrued prior to District's repossession of the Premises.
20. **Other Defaults.** If DCAC shall default in any of the terms and provisions of this Agreement (i.e., long-term maintenance contribution) other than payment of Rent, District may forward written notice of such default to DCAC and DCAC agrees it shall cure such default within thirty (30) days after receipt of such notice. If, however, after due notice to DCAC to cure the same, DCAC shall refuse to cure or make good any such default, District may, at its option, terminate this Agreement. Failure to give notice of any default shall not be deemed to be a waiver thereof nor consent to the continuation thereof.

21. **Reentry by District and Continued Liability for Rent.** If DCAC abandons or vacates the Premises before the end of the Term of this Agreement, District may enter the Premises and remove any signs or other property, and relet the same as District may see fit, without thereby voiding or terminating this Agreement. If a sufficient sum is not realized from such reletting to equal the monthly rent stipulated to be paid by DCAC under the provisions of this Agreement, then DCAC shall pay said deficiency during each month during the entire Term, on demand; it being expressly agreed that no surrender of the Premises shall release or relieve DCAC of its continued liability for the payment of Rent, unless such release be evidenced by written consent to DCAC from District.
22. **District May Remedy Defaults.** In the event of any breach hereunder by DCAC, and in lieu of District's terminating this Agreement as herein provided, District may immediately or at any time thereafter, after having given the other party the requisite notice to correct the same and the time for such correction having elapsed, cure such breach for the account and at the expense of DCAC. If District at any time, by reason of such breach, is compelled to pay any sum of money or do any act; which will require the payment of any sum of money, or incurs any expense, including reasonable attorney's fees, paid or incurred in enforcing District's rights hereunder, the sum or sums so paid or incurred shall be deemed to be additional rent hereunder and shall be due to District on demand. The option herein given to District is intended for District's protection and its existence shall not release DCAC from the obligation to perform the terms and covenants herein provided to be performed by the respective parties or deprive District of any legal rights which it may have by reason of any default of DCAC.
23. **Default of District.** Should District be in default under the terms of this Agreement, District shall have reasonable and adequate time in which to cure the same after written notice by DCAC to District of such default which in no event shall be less than thirty (30) days.
24. **Rights Cumulative.** All rights and remedies of District herein enumerated shall be cumulative and none shall exclude any other right or remedy allowed by law, and said rights and remedies may be exercised and enforced concurrently and whenever and as often as occasion therefor arises.
25. **Surrender of Premises.** Upon the termination of this Agreement for any reason, DCAC shall peaceably and quietly surrender the Premises in good order, condition and repair, reasonable wear and tear excepted, and shall surrender all keys to the Premises to District at the place then fixed for the payment of rent. All alterations, additions, improvements and fixtures which may be made or installed by either District or DCAC upon the Premises, and all affixed flooring shall become the property of and shall remain upon and be surrendered with the Premises as a part thereof, without disturbance, molestation or injury at the termination of the term of this Agreement, whether by the lapse of time or otherwise, all without compensation or credit to DCAC unless District elects to require removal, in which event DCAC shall remove the items directed by District and restore the Premises to their prior condition. Any property not removed from the Premises prior to the surrender thereof shall be deemed abandoned, and District shall have the unqualified right to keep, destroy, or dispose of the same.
26. **Hold Over.** If DCAC continues to occupy the Premises after the expiration of the Term or any extension thereof without the execution of a new lease, such holding over at the option of District shall constitute a tenancy from month to month upon the terms and conditions provided herein.
27. **District's Covenant.** Upon the observance and performance of all the covenants, terms and conditions on DCAC's part to be observed and performed, including payment of the Rents herein provided, DCAC shall peaceably and quietly hold and enjoy the Premises for the term hereby demised without hindrance or interruption by District or any other person or persons lawfully or equitably claiming by, through or under District, subject, nevertheless, to the terms and conditions of this Agreement.

28. **Notices to District.** Notices to District shall be addressed to it at 3924 STH 42, Fish Creek, WI 54212, or such other place as it may designate in writing. If mailed as aforesaid, such notice or communication shall be deemed to have been served or given when deposited in the United States mail, addressed as aforesaid, with postage prepaid.
29. **Notices To DCAC.** If it shall become necessary for District to serve any notice or communication upon DCAC, such notice or communication shall be in writing and given by certified mail, return receipt requested, addressed to DCAC at P.O. Box 397, Fish Creek, WI 54212, or at such other place as DCAC may designate in writing. Such notice or communication shall be deemed to have been served or given two days after it is deposited in the United States mail, addressed as aforesaid, with postage properly prepaid.
30. **Access To Premises.** District reserves the right to enter upon the Premises at all reasonable hours for the purpose of inspecting the same, or making repairs, additions or alterations, all with the least reasonable disruption to DCAC's activities. The reasonable exercise by District of any of its rights under this provision shall not be deemed an eviction or disturbance of DCAC's use and possession of the Premises.
31. **Emergency Access.** In case of an emergency and if DCAC is not present to permit entry, District or any of its representatives may enter the same forcibly without rendering District or its representatives liable therefor or affecting DCAC's obligations under this Agreement.
32. **Waiver.** Waiver by District of any breach of any term, covenant or condition herein contained shall not be deemed to be a waiver of such term, covenant or condition or any subsequent breach of the same or any other term, covenant or condition herein contained. The subsequent acceptance of Rent hereunder by District shall not be deemed to be a waiver of any preceding breach by DCAC of any term, covenant or condition of this Agreement, other than the failure of DCAC to pay the particular rent so accepted, regardless of District's knowledge of such preceding breach at the time of acceptance of such Rent. No covenant, term or condition of this Agreement shall be deemed to have been waived by District, unless such waiver is in writing and subscribed by District. The consent or approval of District to or of any act of DCAC requiring District's consent or approval shall not be deemed to waive or render unnecessary District's consent or approval to or of any subsequent similar act by DCAC or its successors.
33. **Accord and Satisfaction.** No payment by DCAC or receipt by District of a lesser amount than any Rent herein stipulated shall be deemed other than payment on account of the earliest stipulated Rent, nor shall any check or any letter accompanying any check or payment as Rent be deemed an accord and satisfaction, and District may accept such check or payment without prejudice to District's right to recover the balance of such rent or pursue any remedy which would otherwise be available.
34. **Relationship Between District and DCAC.** No provision of this Agreement shall be construed to create any relationship between the parties hereto other than that of landlord and tenant, and District shall not in any way or for any purpose become a partner of DCAC in the conduct of its business or otherwise a member of a joint venture or enterprise with DCAC.
35. **Entire Agreement.** This Agreement sets forth all covenants, promises, agreements, conditions, and understandings between District and DCAC concerning the Premises and replaces and supersedes all previous agreements, if any, and there are no covenants, promises, agreements or conditions, or understandings, either oral or written, between them other than those set forth herein. Except as herein otherwise provided, no subsequent alteration, amendment, change or addition to or of this Lease shall be binding upon District or DCAC, unless the same is reduced to writing and signed by the parties.
36. **Partial Invalidity.** The provisions of this Agreement shall be deemed separable, and if any term or provision of this Agreement or the application thereof to any person or circumstances shall to any extent be invalid or unenforceable, the remainder of this Agreement, or the application of such

term or provision to persons or circumstances other than those as to which it is invalid or unenforceable, shall not be affected thereby, and each term, covenant or condition of this Agreement shall be valid and be enforced to the fullest extent permitted by law.

37. **Enforcement Of Provisions.** If any action at law or in equity is brought in court to recover any rent due under this Agreement, to recover any damages suffered because of any breach of this Agreement, to enforce or interpret any of the covenants, terms, or conditions of this Agreement, or to recover possession of the Premises, the prevailing party shall be entitled to recover from the other party as part of the prevailing party's costs its reasonable attorney's fees, the amount of which shall be fixed by the court and shall be made part of any judgment or decree rendered.
38. **Captions and Section Numbers.** The captions and section numbers appearing in this Agreement are inserted only as a matter of convenience and in no way define or limit the scope or intent of such sections or articles of this Agreement, nor in any way affect this Agreement
39. **No Recording.** DCAC shall not record this Agreement without the prior written consent of District.
40. **Successors and Assigns.** This Agreement shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns, except as otherwise herein specifically provided.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals as of the day, month, and year first above written.

GIBRALTAR AREA SCHOOL DISTRICT

DOOR COMMUNITY AUDITORIUM CORPORATION

By: Jed Lubron (V President)

By: R. W. B. (Secretary)

By: Sally Pfeifer (president)

By: Karen C. Northrop (President)

Stephen Sigler, superintendent

**Door County Land Use Services Department
Request for Town Recommendation**

Christine Pichler of GRAEF, on behalf of Door Community Auditorium Corporation, requests a Conditional Use Permit to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit

The (circle one) ~~Town Board~~ / **Planning Committee** of the Town of Gibraltar held a legally noticed and posted meeting on **March 24, 2025**, at which, by a vote of 5 (Yea) to 0 (Nay), the town recommended (check one) **SUPPORT** **DENIAL** for a conditional use permit.

Reason(s) for the town's decision:

It meets zoning criteria and is consistent with Village Commercial District.

Is the proposal consistent with the Town Comprehensive Plan?

Yes.

Concerns or objections the town may wish to see potentially addressed through conditions:

Follow Dark Sky lighting initiatives

Add foliage to provide screen to east neighbor

Adherence to noise ordinance



Town Clerk Signature

3-28-2025

Date

***To aid you in your review, please see the attached Conditional Use Permit decision-making worksheet used by the Door County Resource Planning Committee.**

CONDITIONAL USE PERMIT WORKSHEET

Door Community Auditorium Corporation

Establish Auditorium & Assembly Hall use in
Village Commercial zoning district

Applicant

Project

The Door County Resource Planning Committee (RPC) decision to approve, approve with conditions, or deny a Conditional Use Permit (CUP) must be supported by substantial evidence. A CUP applicant has the burden of proof. S/he must demonstrate, by substantial evidence, that the application and all requirements and conditions established in the ordinance and by the RPC relating to the conditional use are or shall be satisfied. If an applicant meets their burden of proof, then the RPC must grant the CUP.

If an applicant fails to meet their burden of proof, the CUP will be denied. The CUP may also be denied if substantial evidence exists to support the opposite conclusion, i.e., that the conditions and requirements the applicant must meet to obtain the conditional use permit are not or will not be satisfied.

Substantial evidence: Facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

To aid in the review of and decision-making regarding the proposed conditional use project, the Resource Planning Committee shall evaluate the following specific criteria as applicable, but shall not be limited thereto:

Decision-Making Criteria	Has the applicant met their burden of proof? (Yes / No / N/A)	Has convincing opposing substantial evidence been provided? (Yes / No / N/A)	Are there conditions which should or can be attached, whether to: a) insure ordinance compliance, b) address the lack of substantial evidence, and/or c) address convincing and substantial opposing evidence?
1) Whether the proposed project will adversely affect property values in the area.	Yes	No	
2) Whether the proposed use is similar to other uses in the area.	Yes	No	Across from School
3) Whether the proposed project is consistent with the Door County Comprehensive and Farmland Preservation Plan or any officially adopted town plan.	Yes	No	Fits into Village Commercial District Agrees with plan
4) Provision of an approved sanitary waste disposal system.	Yes	No	Municipal
5) Provision for a potable water supply.	Yes	No	Municipal
6) Provisions for solid waste disposal.	Yes	No	Municipal
7) Whether the proposed use creates noise, odor, or dust.	Yes	No	Facing School, noise ordinance
8) Provision of safe vehicular and pedestrian access.	Yes	No	Cross walk, flashing lights, reduced parking
9) Whether the proposed project adversely impacts neighborhood traffic flow and congestion.	Yes	No	Same use as current use

10) Adequacy of emergency services and their ability to service the site.	Yes	No	Public safety approved
11) Provision for proper surface water drainage.	Yes	No	Adding green space
12) Whether proposed buildings contribute to visual harmony with existing buildings in the neighborhood, particularly as related to scale and design.	Yes	No	Fits with village commercial district
13) Whether the proposed project creates excessive exterior lighting glare or spillover onto neighboring properties.	Yes	No	Will follow dark sky standards
14) Whether the proposed project leads to a major change in the natural character of the area through the removal of natural vegetation or alteration of the topography.	Yes	No	Adding green space
15) Whether, and in what amount and form, financial assurance is necessary to meet the objectives of this ordinance.	N/A		
16) Whether, and to what extent, site-specific conditions should be imposed to mitigate potentially problematic impacts of the use.	Yes		<i>Add foliage to east property line</i> <i>Adhere to dark sky lighting initiatives</i> <i>Adhere to noise ordinance</i>
17) The impact of the proposed project on public health, public safety, or the general welfare of the County.	Yes		<i>For example: Compliance with local, state, and federal codes, laws, orders, ordinances, and rules?</i>
Other topics? (The RPC may consider topics in addition to the above.)	Yes		

The Resource Planning Committee shall establish a completion date for the proposed project: _____

The Resource Planning Committee may impose conditions regarding the permit's duration, transfer, or renewal.

Approved:

**TOWN OF GIBRALTAR
REGULAR PLAN COMMISSION MEETING
GIBRALTAR TOWN CENTER
MARCH 24, 2025 at 6:00 pm
(Partial Minutes)**

Consideration of Conditional Use Permit Application, Parcel 014-02-33312721D1, to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42: Christine Pichler of GRAEF, on behalf of Door Community Auditorium Corporation, requests a Conditional Use Permit to establish Auditorium and Assembly Hall uses within a new building on the property addressed 3931 State Highway 42 (PIN 014-02-33312721D1). Establishment of Auditorium and Assembly Hall uses in the Village Commercial zoning district requires a Conditional Use Permit.

Overview: Administrator Thyssen advised DCAC received a conditional use permit for the establishment of Private School and Assembly Hall use within the former Fish Creek Grill building that was torn down.

DCAC presentation to Commission:

Linda Birmingham, 3860 County F, Fish Creek, Board Member DCAC and Duska Pearson, 10343 North Shore Road, Ephraim, Board Member DCAC addressed the Commission. They advised new building is being designed to serve multiple community purposes, including office spaces, children's music lessons, community events, catering kitchen and small concert venue. Building design will complement school and auditorium. Parking lot will continue to be used for school and community events.

Chris Renier, architect, Matthew Nordlund, general contractor, and Christina Pichler, engineer, presented site plan and information and responded to questions from Plan Commissioners. Presentation included details about the proposed building project, including its layout, design, and landscaping plans. Structure is a single-story performance space with support services, measuring 6,390 square feet. Plan includes 29 parking spots, green spaces, and landscaping features such as trees and hedges to act as buffers for neighboring properties, including the addition of Chicagoland Green Boxwoods along east property line.

Merline opened the floor to questions: DCAC, general contractor and architect responded to questions from the following people. Although outside the scope of the conditional use permit, contractor and architect did respond to questions regarding construction method and construction schedule. Merline clarified that the Plan Commission has no authority beyond consideration of the application for a conditional use permit and cannot render a recommendation to the Board or the County regarding construction.

Approved:

- Dan Cresco, Hilltop Condominium Owner Unit 2A asked a series of questions about planned frequency and use of property, parking space, indoor capacity, use of lighting and security and surveillance.
- Bill Weddig, 9342 Spring Road, Apple Creek Resort, Inc asked about signage, referencing the current interior lit sign that doesn't comply with the Town's sign ordinance.
- Sherry May, Hilltop Condominium Owner Unit 5C asked about dates and times of operation, traffic safety for pedestrian crossing, outside security and cameras, and tailgating before and after events. She also asked about construction schedule and methods and raised concern that chipping at bedrock could damage foundation and pool at Hilltop.
- Karen Taubenheim, Hilltop Condominium Owner Unit C6 asked about construction schedules and methods.
- Steve Kane, 7823 White Cliff Road, Egg Harbor made statement in support of petition.

Merline closed the public comment section of the meeting:

Commission addressed contractor, architect, engineer and DCAC representatives about traffic safety, project timeline, proposed uses and operational hours. Commission was advised they have already met with fire department and modified site plan to accommodate ladder truck. Site plan actually reduces impervious area and adds green space, surface water drainage is not at issue and plan meets County Zoning requirements. Commissioners reviewed the conditional use permit worksheet and discussed whether Petitioner has met its burden of proof.

Motion (Blackwood/Lancaster) to recommend support of the petition for grant of Conditional Use Permit with the following conditions: employ dark sky initiatives with downcast lighting, added foliage screen on east lot line and comply Town Noise Ordinance. Merline aye, Blackwood aye, Selenica aye, Kudick aye, Lancaster aye, Pillat abstained. Carried.

Respectfully submitted,

Laura Reetz, Clerk

To: Town Board
From: Staff

Request:

Accept recently awarded Fund for Lake Michigan grant in the amount of \$85,000 for Fish Creek Ecosystem Enhancement Planning and execute grant contract.

Background:

The Town has is pursuing a phased approach to restore and protect Fish Creek, focusing on improving fish passage, controlling invasive species, and restoring stream habitats. This project aims to enhance water quality, biodiversity, and overall ecosystem health in the Fish Creek corridor. As part of this initiative, in February 2025 the Town applied for a Fund for Lake Michigan grant to support the first phase of the restoration, which includes stream restoration planning, fish passage improvements, and potential dam removal or bypass design. The grant was awarded on March 17, 2025, and will fund essential planning and design work for the project.

Analysis:

Acceptance of the grant is a crucial step toward achieving the goals of the Fish Creek Watershed Plan. Phase 1 will lay the groundwork for a comprehensive restoration, improving water quality, restoring habitat, and enhancing fish passage. This phase will assess the stream's condition, evaluate fish passage, and design strategies for stream re-meandering and habitat restoration. The planning work in Phase 1 will address critical ecological challenges and set the stage for future restoration phases, ensuring long-term benefits for Fish Creek, the surrounding ecosystem, and the broader Green Bay/Lake Michigan watershed.

Recommendation:

Staff recommends accepting Fund for Lake Michigan grant.

Fiscal Impact:

Acceptance of the grant will offset a significant portion of the projected total project cost, reducing the financial burden on the Town.



A fund within the Greater Milwaukee Foundation

c/o Greater Milwaukee Foundation
2153 N. Dr. Martin Luther King Jr. Drive
Suite 4000, Milwaukee WI 53212
phone: (414) 272-5805

Fund for Lake Michigan Grant Agreement for Grant:

The grant to your organization from the Fund for Lake Michigan (the Fund) at the Greater Milwaukee Foundation (the Foundation) is for the explicit purpose(s) described below and in your grant application to the FFLM and is subject to your acceptance of the following conditions. To acknowledge this agreement, to accept the grant, and to be eligible to receive the funds when needed, **return one signed copy of this grant contract to the Fund for Lake Michigan via email to casey@fundforlakemichigan.org.**

Grant Information

Grantee name:	Town of Gibraltar	Date authorized:	03/13/2025
Amount of grant:	\$85,000		
Grant purpose:	Fish Creek Ecosystem Enhancement Planning		
Grant period begins:	4/1/2025	Ends:	12/31/2026
Payment schedule:	\$80,000 on 4/1/2025 and \$5,000 on 1/15/2027		
Reporting schedule:	A final report is due 1/15/2027		
Special conditions:	_____ _____ _____		

Special Provisions

All grants are made in accordance with current and applicable laws and pursuant to the Internal Revenue Code, as amended, and the regulations issued thereunder.

Please read the following carefully:

I. EXPENDITURE OF FUNDS

This grant is to be used only for the purpose described in the grant application and in accordance with the approved budget. The program is subject to modification only with prior written approval from the Fund and the Foundation.

- A. The grantee shall return to the Foundation any unexpended funds:
 - 1. if the Fund or Foundation determines that the grantee has not performed in accordance with this agreement and approved program/budget,
 - 2. if the grantee loses its exempt "public charity" status under Section 501(c)(3) of the Internal Revenue Code, or
 - 3. if the grant period has ended.

- B. No funds provided by the Foundation may be used for any political campaign, legislation, candidates, or office holders, or to support attempts to influence legislation or public policy positions by any government body, other than through making available the results of nonpartisan analysis, study, and research. Grantees may be required to note in presentations or printed publications resulting from the grant that such conclusions do not reflect the position of the Fund for Lake Michigan or the Greater Milwaukee Foundation.

- C. Unless specifically authorized by the Foundation, expenses charged against this grant may not be incurred prior to the effective date of the grant or subsequent to the termination date, and may be incurred only as necessary to carry out the purposes and activities of the approved program.

- D. The grantee organization is responsible for the expenditure of the funds and for maintaining adequate supporting records consistent with generally accepted accounting practices.

- E. Private entities receiving funds from the Fund must solicit competitive bids for all contracts and other expenses estimated to be over \$50,000. Public entities receiving funds from the Fund must follow their own procurement laws and policies.

II. SIGNAGE AND PUBLICITY

- A. The grantee will include the Fund's logo and denote the Fund as a supporter of the project on printed materials, event announcements, the grantees or project's website, and other media.
- B. When applicable, Fund staff will be included in major press announcements involving the project described in the proposal, such as groundbreaking, ribbon cuttings, and award ceremonies.
- C. The grantee is encouraged to acknowledge the Fund's support on social media and to follow the Fund for Lake Michigan on Twitter, Facebook, and LinkedIn.
- D. The grantee will periodically share other photos, video clips, news articles, and other outreach materials that show the impact of the Fund's grant. These materials can be sent directly to Fund staff.
- E. The grantee will, when asked, report on efforts to recognize the Fund for its support.

III. OPERATIONS AND MAINTENANCE

For all on-the ground restoration and infrastructure projects, the grantee **will maintain the project for at least five years**. If the Project fails to perform as anticipated, or if maintaining the Project is not feasible, then the grantee will provide a report to the Fund explaining the failure of the Project or why maintenance is not feasible. Failure to maintain the Project may make the grantee ineligible for future Fund for Lake Michigan funding, until the grantee corrects the maintenance problems.

IV. REPORTING REQUIREMENTS

Reports will be submitted according to the following schedule:

- A final report is due on: 1/15/2027

Reports should be submitted using the Fund for Lake Michigan's online grant system at <https://www.grantinterface.com/lakemi/Common/LogOn.aspx>. Please contact Casey Eggleston at casey@fundforlakemichigan or 608-334-7788 should you have any questions or problems submitting your reports. Grantees who fail to submit reports may delay or forfeit pending or future grant payments.

For on-the-ground restoration or infrastructure projects, reports should include before and after photos of the project site.

V. LIMIT OF COMMITMENT

Unless otherwise stipulated in writing, this grant is made with the understanding that the Fund for Lake Michigan and the Greater Milwaukee Foundation have no obligation to provide other or additional support to the grantee. Any violation of the foregoing conditions will result in cancellation of future payments and refunding to the Foundation of any amounts subject to the violation.

For the Grantee:

Signature of Representative

Print Name and Title

Date

To: Town Board

From: Staff

Request:

Consideration to authorize the Knowles- Nelson outdoor recreation grant application with resolution (grant required).

Background:

The Town Board approved staff submitting the K-N grant at the March Meeting, to submit the grant they are requiring the board authorize through a resolution.

Analysis:

This is not unusual as the Town Board issued two resolutions to acquire the Redmann property.

Recommendation:

Without the resolution the Town will not be considered for the grant.

Fiscal Impact:

There is no fiscal impact on this request.

Resolution 2025-02
Authorizing Resolution for Outdoor Recreation Grant Applications

WHEREAS, the *Town of Gibraltar* is interested in acquiring or developing lands for public outdoor recreation purposes as described in the application; and

WHEREAS, financial aid is required to carry out the project.

THEREFORE, BE IT RESOLVED, that *Town of Gibraltar* has budgeted a sum sufficient to complete the project or acquisition and

HEREBY AUTHORIZES *Travis Thyssen, Town Administrator* to act on behalf of *Town of Gibraltar* to:

1. Submit an application to the State of Wisconsin Department of Natural Resources for any financial aid that may be available.
2. Submit reimbursement claims along with necessary supporting documentation within 6 months of project completion date.
3. Submit signed documents; and
4. Take necessary action to undertake, direct and complete the approved project.

BE IT FURTHER RESOLVED that *Town of Gibraltar* will comply with state or federal rules for the programs; may perform force account work; will maintain the completed project in an attractive, inviting, and safe manner; will keep the facilities open to the general public during reasonable hours consistent with the type of facility; and will obtain from the State of Wisconsin Department of Natural Resources or the National Park Service approval in writing before any change is made in the use of the project site.

Adopted this 9th day of April, 2025.

Authorized Signature: _____ Title: Steve Sohns, Town Board Chairman

ATTEST:

I hereby certify that the above is a true and correct copy of the resolution passed by the Town of Gibraltar board of the Town of Gibraltar at the regular meeting thereof held this 9th day of April 2025.

Laura Reetz, Town Clerk

To: Town Board

From: Staff

Request:

Consideration of a land use agreement with the State Park

Background:

The Town Board approved Applying for the Knowles -Nelson grant. Because the Town is the grant writer and the State Park will benefit from the grant, an agreement between the Town and State Park for land use is required.

The agreement at this point is just defining the use of land, a more detailed MOU will need to be created and agreed by both parties in the future discussing maintenance, care and improvements if the Town is awarded the grant.

Analysis:

The agreement is a requirement of the Knowles Nelson grant application.

The agreement is a **rough draft** and will be further defined if the Town is awarded the grant funding.

Recommendation:

Staff recommend approval of the draft agreement with understanding there will be the ability to refine the agreement in the future.

Fiscal Impact:

The draft was created by the State of Wisconsin for use on their property, no staff time or fiscal impact to the Town.

To: Town Board

From: Staff

Request:

Consideration to go out for bids for Islandview road reconstruction LRIP project.

Background:

The Town of Gibraltar in 2021 applied for LRIP funds to assist with pulverize and repave Islandview Road from the intersection of Juddville Road to the Termini. They were awarded the funds.

The Town have pushed the project out and this is the last year we can without losing the LRIP funds.

Currently the rating of Island view is 2 on the PASER scale out of 10

Analysis:

The Town awarded the Islandview / Juddville intersection reconstruction and drainage enhancement plan in March of 2025, the project encompasses approximately 100' of asphalt replacement, combining the two projects or coordinating the two projects the town financially will benefit from one mobilization.

The Bidding process for LRIP requires the Town to solicit bids from private contractors and compare them to any bid from the County. Door County has bid and completed projects in the past and will be able to compete in this bidding process.

Recommendation:

Town Staff would like the board to consider moving forward with this project to coincide with the intersection repair and to maintain our eligibility to be refunded LRIP allocated funds.

Fiscal Impact:

The Town has allocated \$350,000 for road projects in 2025 inside the current budget.

To: Town Board

From: Staff

Request:

Consideration of garage door bids for the fire station and the chambers Island fire/municipal building.

Background:

The Town Board approved the proposal in March to solicit bids to change garage doors on Fire Station 1 and use the old doors on the municipal island building.

Analysis:

Staff sent out an RFP and completed the required timeline for bidders to respond.

Staff received 1 bid from Grage Door Specialists, who have met all the criteria for the installation, and have placed as part of the bid, installation on the Island building.

Garage Dorr Specialists have submitted two options of window styles (Fire Chief Bertges said the single row will work fine for the replacements).

- A. Option 1 three rows of windows \$56,560
- B. Option 2 one rows of windows \$54,160

Garage Door Specialists will use CHI Garage Doors based out of Illinois. Staff research of the doors and company reveal they meet or exceed all Town of Gibraltar requirements and specifications.

Recommendation:

Staff recommend proceeding with awarding the project(s) to Garage Door Specialists to complete both projects.

Fiscal Impact:

The Town reserved \$150,000 for fire station improvements, the generator upgrade and switching will account for approximately \$106,000 the remaining \$44,000 will be applied to the project with \$10,160 used from the Island building account.

TOWN OF GIBRALTAR

BID OPENING RECORD AND CHECKLIST

TOWN PROJECT: Commercial Garage Door Installation—FIRE STATION AND MUNICIPAL STORAGE BUILDING

Time/date of Bid opening: 3.31.2025

Witness name: Teavis J. Thyssen

12:30 pm

Witness signature: [Signature]

Company/individual making bid

Amount bid

Bond Included

Meets criteria

Garage Door Specialists

\$54,510

No

yes

3 rows of 3 windows

Garage Door Specialists

\$54,160

No

yes

1 row of 3 windows

ATTESTED: Clerk

[Signature]

DATE:

3-31-2025



1565 Deerwood Drive
Neenah, WI 54956
(920) 725-2257
info@garagedoorspecialists.net

Estimate

ESTIMATE#	1060104529
DATE	02/05/2025
PO#	

CUSTOMER
Town of Gibraltar 4097 State Highway 42 Fish Creek Wisconsin 54212-9346 (920) 868-1714

SERVICE LOCATION
Town of Gibraltar 4097 State Highway 42 Fish Creek Wisconsin 54212-9346 (920) 868-1714

DESCRIPTION

Estimate			
Description	Qty	Rate	Total
3216 Insulated Sandwich Micro-groove Commercial Door 12'2"x14' 15R 3216 Insulated Sandwich Micro-groove Commercial Door 12'2"x14' - 26 ga R 17.5 with windows, 1 row of 3, plain glass 34" x 16" Sandstone in color, 3 inch rollers/ hardware, re-use existing track. Reconnect existing openers.	8.00		42,360.00
Insulated Sandwich Micro-groove Commercial Door 12'2"x12' Insulated Sandwich Micro-groove Commercial Door 12'2"x12'- Re-install 4 doors using panels from current firehouse on island building. Supply new track, springs and hardware because doors are going to be a different size	4.00		11,800.00

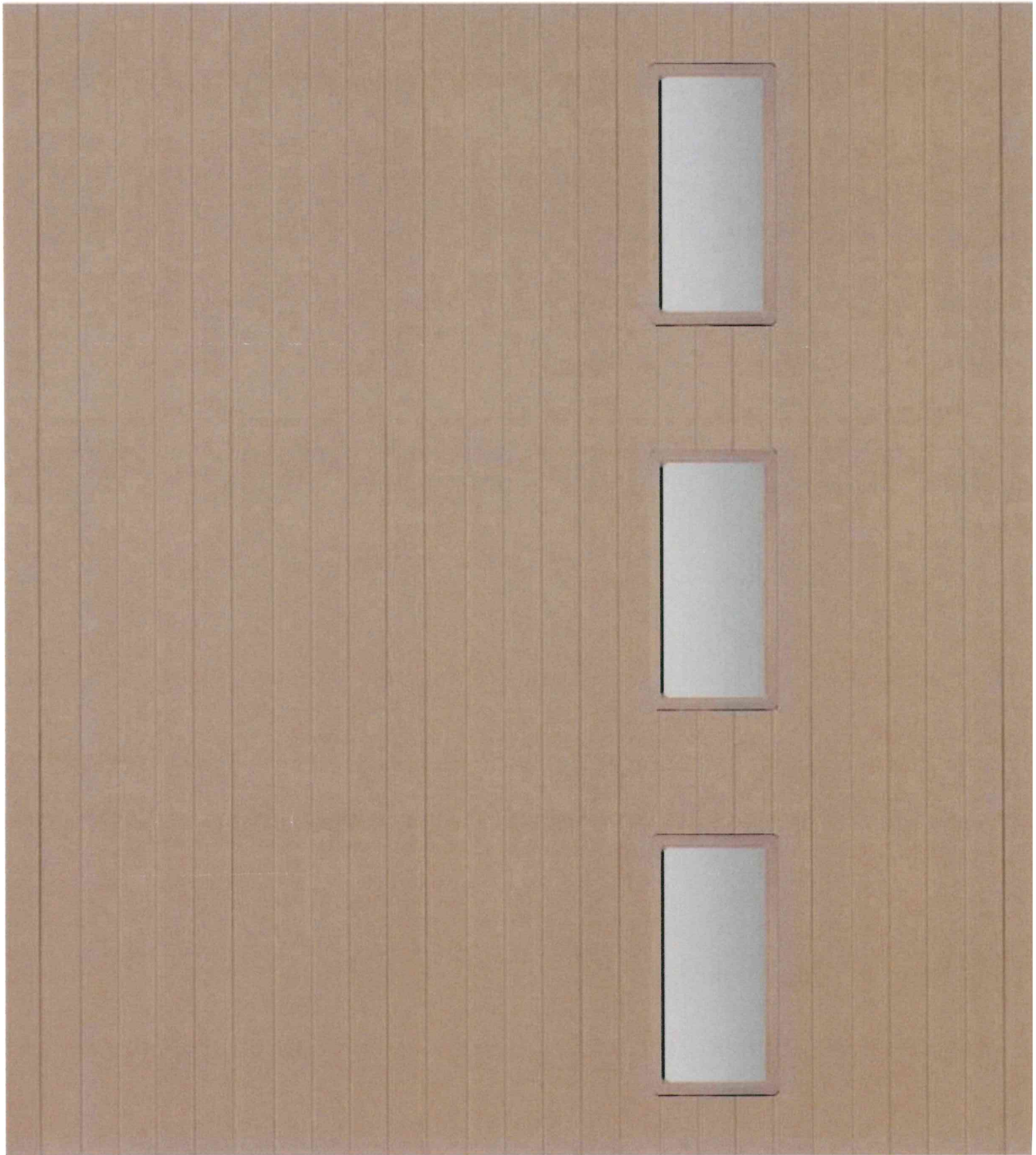
CUSTOMER MESSAGE
Thank you for requesting an estimate. Feel free to reach out with any questions. -Garage Door Specialists

Estimate Total: \$54,160.00

PRE-WORK SIGNATURE

Signed By:

Glass option 2





1565 Deerwood Drive
 Neenah, WI 54956
 (920) 725-2257
 info@garagedoorspecialists.net

Estimate

ESTIMATE#	1060104529
DATE	02/05/2025
PO#	

CUSTOMER
Town of Gibraltar 4097 State Highway 42 Fish Creek Wisconsin 54212-9346 (920) 868-1714

SERVICE LOCATION
Town of Gibraltar 4097 State Highway 42 Fish Creek Wisconsin 54212-9346 (920) 868-1714

DESCRIPTION

Estimate			
Description	Qty	Rate	Total
3216 Insulated Sandwich Micro-groove Commercial Door 12'2"x14' 15R			
3216 Insulated Sandwich Micro-groove Commercial Door 12'2"x14' - 26 ga R 17.5 with windows, 3 rows of 3 (3rd, 4th and 5th panels), plain glass 34" x 16" Sandstone in color, 3 inch rollers/ hardware, re-use existing track. Reconnect existing openers.	8.00		44,760.00
Insulated Sandwich Micro-groove Commercial Door 12'2"x12'			
Insulated Sandwich Micro-groove Commercial Door 12'2"x12'- Re-install 4 doors using panels from current firehouse on island building. Supply new track, springs and hardware because doors are going to be a different size	4.00		11,800.00

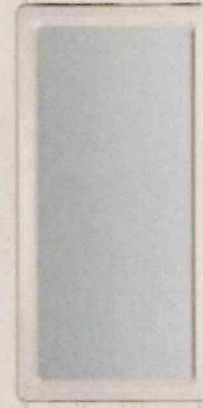
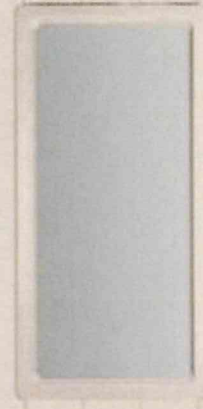
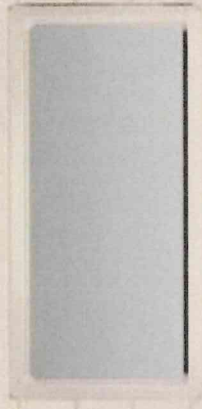
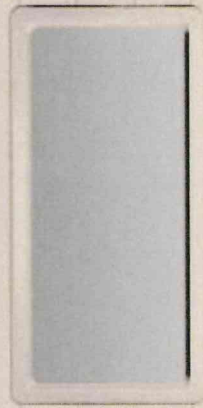
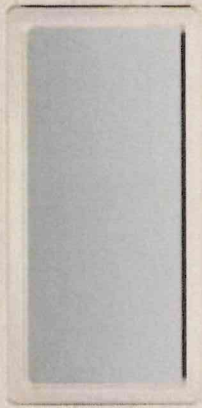
CUSTOMER MESSAGE
Thank you for requesting an estimate. Feel free to reach out with any questions. -Garage Door Specialists

Estimate Total: \$56,560.00

PRE-WORK SIGNATURE

Signed By:

Glass options!



To: Town Board

From: Staff

Request:

Consideration of awarding contract for flatwork on Chambers Island

Background:

The Town Board approved funding allotment and to move forward with soliciting bids for construction of a Municipal Fire/ Storage facility on Chambers Island

Town staff sent a request for proposals and received 6 bids back

Analysis:

Own Staff vetted the companies to be sure they fully understand the logistics involved with the proposed project. Most of the far away companies assumed they would simply be barged out each day with trucks and equipment much like Washington Island. Staff had indicated all the difficulties in the RFP.

Bid BMD 18,590 intended on just pouring and did not bid any site preparations they also intend on billing \$2,500 every time there is a delay. Winneconne

Bid John Skotzke concrete Total \$24,030 Neenah

Bid Ace Building Total \$60,572 Manitowoc

Bid DC sawmill Total 26,680 Sturgeon Bay

Bid Greenfield Total \$140,322 Illinois

Bid Royalty Concrete Total \$23,800 Sturgeon Bay

All the bidding companies meet qualifications, two are in Door Couty, the furthest is in Illinois. The low bidder did not include site prep, and it was required on the RFP without an amount they do not qualify. The second lowest bidder is from Sturgeon Bay and fully understands the logistics and difficulties the Island project may incur.

Recommendation:

Staff recommend consideration of the second lowest bidder, they meet all RFP requirements and are local, allowing flexibility to meet barging, weather, and water conditions as they arise.

Fiscal Impact:

The \$23,800 will be used from the Chambers Island building fund reserved by the board.

To: Town Board

From: Staff

Request:

Consideration of awarding contract for building assembly on Chambers Island

Background:

The Town Board approved funding allotment and moved forward with soliciting bids for construction of a municipal Fire/ Storage facility on Chambers Island.

Town staff sent out a request for proposals and received 4 bids back.

The Town has purchased a 36 x 70 steel building that will have 4 garage doors for quick mobility of fire and equipment. The building will be delivered on May 16th

Analysis:

Town staff contacted and vetted the companies that sent in proposals to be sure they fully understand the logistics for the construction of this building. And the obstacles that may be present.

Bid Greenfield Contractors	\$96,573.00	Illinois
Bid DC Sawmill	\$129,600	Sturgeon Bay
Bid Ave Building service	\$79,852	Manitowoc
Bid Royalty Concrete	\$28,800	Sturgeon Bay

All the bidding companies meet qualifications, after speaking with the bidders' large portions of the two distant bidders were lodging, DC sawmill said they did not have a set crew and were combining multiple subcontracted crews for their estimate. Royalty anticipated two-three weeks, possibly camping on site (with approval) or daily transportation to the island.


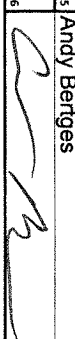
The Town will have the building kit on the Island and near the site.

Recommendation:

Staff recommend consideration of the low bidder Royalty concrete services. To erect the facility.

Fiscal Impact:

The amount of 28,800 will be used from the Chambers Island Building fund reserved by the Board.

	A	B	C	D	E	F	G	H	I
1	Bid Opening: March 18, 2025 at 2:30 p.m.								
2	Project Location: Chambers Island, Fish Creek, Wisconsin								
3	Owner: Town of Gibraltar								
4									
5									
6	Bidder	Building Assembly	Concrete						
7									
8	BMD Concrete Innovations		\$18,590.00						
9	Grenfield Contractors LLC	\$96,573.00	\$140,322.00						
10	DC Saw Mill	\$129,600.00	\$26,680.00						
11	Ace Building Service	\$79,852.00	\$60,572.00						
12	Royalty Concrete Construction	\$28,800.00	\$23,800.00						
13	John Skotzke Concrete Construction		\$18,810.00						
14									
15									
16									
17									
18									
19									
20	Attested:								
21									
22	Laura M. Reetz, Clerk			Dated:	3-18-2025				
23									
24	Witness:								
25	Andy Bertges			Dated:	3-18-2025				
26									



Estimate

6788 Forest Park Rd
 Winneconne, WI 54986
 Phone: (920) 969-8515/(715) 460-6261

DATE 3/18/2025
 Quotation # 2530
 Customer ID TOG

Quotation For:
 Town of Gibraltar
 Concrete Slab Installation on Chambers Island

Quotation valid until:

Prepared by: MM

Comments or Special Instructions: *Fine grade and placement priced, NO materials included(Labor Only)
 Materials list to be provided to owner by contractor. Materials purchased by Owner.
 Winter conditions not included
 Traffic control by others(if required)
 Construction staking by others
 Site prep/clearing and grubbing by Owner
 Grading to be performed with material on site
 Delays caused by weather will not be charged to owner. Delays due to suppliers,
 logistics, transportation, etc. will be charged at a rate of \$2,350 per day.*

SALESPERSON	P.O. NUMBER	SHIP DATE	SHIP VIA	F.O.B. POINT	TERMS

ITEM	QUANTITY	DESCRIPTION	OPTION(S)	UNIT PRICE	ALTERNATE PRICE	AMOUNT
1.0000	1 LS	Labor Only bid for fine grading, form setting, installation, and finishing of 36'x70' concrete slab on Chambers Island site determined by owner				\$ 18,590.00

SUBTOTAL	\$18,590.00
TAX RATE	
SALES TAX	\$ -
OTHER	\$ -
TOTAL	\$ 18,590.00

NOTES:

If you have any questions concerning this estimate contact Matt at (920)969-8515 or bmdconcreteinnovations@gmail.com.

THANK YOU FOR GIVING US THE OPPORTUNITY TO SERVE YOU!



Contract

1012 N Santa Fe Ave
Princeville, IL, 61559
Phone: 833-385-1859

Project ID 00000006526
Customer ID TOWN OF GIBRALTAR
Email tthyssen@gibraltarwi.gov
Phone Number 920-868-1714
Project Manager
Quote Date 28-Feb-2025
Quote Expires 07-Mar-2025

BILL TO
Town of Gibraltar
4097 Main Street
PO Box 850
Fish Creek WISCONSIN 54212

SHIP TO
Town of Gibraltar
4097 Main Street
PO Box 850
Fish Creek WISCONSIN 54212

DESCRIPTION

AMOUNT

Installation of customer supplied Pre-engineered metal building
Includes:Labor Only \$96,573.00

Excludes: Anchor bolts, Tax, Freight, prevailing wage labor rates
Customer to supply: Anchor bolts wet set in concrete, telescoping forklift, manlift, transportation to and from the island, Transportation for a truck at the beginning and end of project, generator for power at job site, building kit setting within 100' of concrete pad.
Special notes: Island doesn't have potable water or electrical service. Customer to ferry personnel over each day to and from the island. We will drive two vehicles to the project site. One truck to stay on the island and one van to stay on mainland for the crew to use in the evening. Island has great fishing and overnight accomodations may be available.

Greenfield Contractors LLC will make every reasonable effort to minimize the time delays. \$.00

Payment Terms
25% Down Payment
75% Due on Completion
Make checks payable to
Greenfield Contractors LLC

TERMS AND CONDITIONS:

1. Builder's Risk insurance provided by others to cover losses due to direct physical loss related to the contract's scope of work. This can be provided for an extra charge.
2. 120 volt 30 amp electrical service brought to jobsite by others. A generator charge of \$20 per day will apply if electrical service is unavailable.
3. Location of private underground utilities by others.
4. Building permits provided by others.
5. Owner to provide level building site. Additional charges will apply for building sites more than 1" out of level.
6. Labor includes one mobilization, un-conditional site access, inside of building and 20' on sides and 30' on ends of buildings of clear, hard and flat surface.
7. Greenfield Contractors LLC reserves the right to re-schedule the installation and charge an additional mobilization if the site is ill prepared.
8. Customer to dispose of remaining construction debris left by construction crew.
9. Customer is responsible for protecting the contents of the building during the project duration.
10. No verbal agreements will be honored.

Greenfield Signature

Signature Date

Approval of contract includes the terms and conditions items listed above.

Contract Total \$96,573.00



1012 N Santa Fe Ave
Princeville, IL, 61559
Phone: 833-385-1859

Contract

Project ID 0000006580
Customer ID TOWN OF GIBRALTAR
Email tthyssen@gibraltarwi.gov
Phone Number 920-868-1714
Project Manager
Quote Date 18-Mar-2025
Quote Expires 25-Mar-2025

BILL TO
Town of Gibraltar
4097 Main Street
PO Box 850
Fish Creek WISCONSIN 54212

SHIP TO
Town of Gibraltar
4097 Main Street
PO Box 850
Fish Creek WISCONSIN 54212

DESCRIPTION

AMOUNT

The design is expected to follow established construction standards, is based on previous engineering on previous metal buildings we have done and verbal specs given, incorporating a slab-on-grade foundation with a perimeter frost wall extending 48 inches below the finished floor and a 6' thick concrete slab

\$140,322.00

Scope of Work – Included Services:

- Excavation for the slab and frost wall, with all spoils placed on-site within 100 feet of the jobsite.
- Concrete placement, including labor and materials.
- Anchor bolts as required for structural attachment.
- Readymix concrete supply (standard mix design) with no additional cleaning accommodations for trucks remaining on the island for extended periods.
- Excludes: Foundation Engineering, Soil Borings, Site Prep, coordination of the readimix trucks to the island, ferrying of equipment and rebar to the site, site preparation by others.

Special notes: Island doesn't have potable water or electrical service. Customer to ferry personnel over each day to and from the island.

Greenfield Contractors LLC will make every reasonable effort to minimize the time delays.

\$.00

Payment Terms

- 25% Down Payment
- 50% Due on Building Delivery
- 25% Due on Completion
- Make checks payable to Greenfield Contractors LLC

TERMS AND CONDITIONS:

1. Builder's Risk insurance provided by others to cover losses due to direct physical loss related to the contract's scope of work. This can be provided for an extra charge.
2. 120 volt 30 amp electrical service brought to jobsite by others. A generator charge of \$20 per day will apply if electrical service is unavailable.
3. Location of private underground utilities by others.
4. Building permits provided by others.
5. Owner to provide level building site. Additional charges will apply for building sites more than 1" out of level.
6. Labor includes one mobilization, un-conditional site access, inside of building and 20' on sides and 30' on ends of buildings of clear, hard and flat surface.
7. Greenfield Contractors LLC reserves the right to re-schedule the installation and charge an additional mobilization if the site is ill prepared.
8. Customer to dispose of remaining construction debris left by construction crew.
9. Customer is responsible for protecting the contents of the building during the project duration.
10. No verbal agreements will be honored.



Contract

1012 N Santa Fe Ave
Princeville, IL, 61559
Phone: 833-385-1859

Project ID 0000006580
Customer ID TOWN OF GIBRALTAR
Email tthyssen@gibraltarwi.gov
Phone Number 920-868-1714
Project Manager
Quote Date 18-Mar-2025
Quote Expires 25-Mar-2025

BILL TO
Town of Gibraltar
4097 Main Street
PO Box 850
Fish Creek WISCONSIN 54212

SHIP TO
Town of Gibraltar
4097 Main Street
PO Box 850
Fish Creek WISCONSIN 54212

DESCRIPTION

AMOUNT

Greenfield Signature

Signature

Date

Approval of contract includes the terms and conditions items listed above.

Contract Total \$140,322.00

March 6, 2025

To the Town of Gibraltar,

We looked at the plans for building the fire station on Chambers Island using the building materials that you have purchased, and we would like to be considered for the job.

Our bid is \$129,600.00.

A 50% down payment is needed prior to the start of the construction.

The job will be completed by the due date of October 15,2025. We have experienced builders working on this job.

Thank you for your consideration,

Margo Burke

DC Sawmill

920-493-3231

March 6, 2025

To The Town of Gibraltar,

DC Sawmill has reviewed the plans for the building of the fire station on Chambers Island.

We are putting in a bid for laying the 36'x70' concrete pad 6" deep with a thickened edge. The Town of Gibraltar will supply the 6 trucks of concrete and 140 pieces of ½" rebar. The bid is \$26,680.00 if we need to bring our excavator over to the island that bid is \$33,680.00. This job will be completed by June 27, 2025.

50% down will be needed prior to the start of the construction.

We have a lot of experience laying concrete.

- Dock repairs and replacement with concrete tops
- Concrete garage floors
- Concrete walkways

We hope that you will consider us for the job.

Thank you for your time,

Margo Burke

DC Sawmill

920-493-3231

PROPOSAL

Attn: Travis Thyssen

Quote: 390/25B

<u>Town of Gibraltar</u> <u>Administrator</u> <u>4097 Main St</u> <u>Fish Creek, WI 54212</u>	Furnish labor and equipment to construct new 36x70 pre-engineered metal building on Chambers Island	<u>3/18/2025</u> <u>Phone: 920-868-1714</u>
--	---	--

We propose to furnish labor and equipment to construct a new 36'x70' pre-engineered metal building on Chambers Island, Door County, WI. No material is included in this proposal unless explicitly called out in the below.

Work to be completed according to the information described in the request for proposal, drawings from Steel Nation dated 12/18/2024 and accompanying Erection and Detail Manual.

Acceptance of this proposal is contingent upon the acceptance A.C.E. Building Service's proposal, 390/25A, for the construction of a 36x70 concrete slab on grade.

All work per the following:

DIVISION 1 - GENERAL REQUIREMENTS

It has been assumed in our proposal that the owner has the legal right to build on the property involved and that the land is properly zoned for the type of occupancy proposed. It has also been assumed that the local, state and federal environmental protection laws can be complied with by the intended occupancy and use of the building. We have not taken the responsibility to determine if these requirements can be met.

A.C.E. Building Service will provide general liability, auto liability, and workmen compensation, paying the cost of such insurance and providing a copy of the certificate of insurance within 14 days of commencing construction.

The cost of a temporary toilet is included. Electrical power and water to be provided by and paid for by the owner. Site cleanup of construction debris is included. Dumpsters to be provided by owner.

The Town of Gibraltar is to provide transportation via barge or ferry to the island for (2) A.C.E. trucks, (3) trailers and (2) lifts. This includes one trip to the island and one trip returning to the mainland.

The Town of Gibraltar is to provide daily transport for A.C.E. personnel to and from the island.

DIVISION 3 – CONCRETE

Furnish and install (16) concrete drill in anchors at overhead door frames.

DIVISION 8 – OPENINGS

Install (2) 3'x7' personnel doors including the door hardware. Doors provided by owner.

DIVISION 13 – SPECIAL CONSTRUCTION

Furnish labor and equipment construct a 36'x70' Steel Nation Pre-Engineered Metal Building. Building to be furnished by the Town of Gibraltar.

It is assumed the building will be delivered to the site by the Town.

Installation of (4) overhead door frames and (2) personnel door frames.

Includes the installation of wall panel, roof panel, cap, closures, trim, gutters, and downspouts.

Quote #390/25B

Page 1 of 5

3510 S. 26th Street Manitowoc, WI 54220 | 920.682.6105 | www.acebuildingservice.com



WE ARE A PROUD BUTLER BUILDER SINCE 1973

It is assumed the roof panel is lap style, exposed fastener type and is not a standing seam type roof panel.

BASE QUOTE TOTAL \$79,852.00

(Seventy-Nine Thousand, Eight Hundred and Fifty-Two Dollars and Zero Cents)



NOT INCLUDED:

1. This proposal may be subject to state and local design reviews for approval and permits which may require modification to the design and/or cost.
2. Full and complete compliance with ADA, ICC/ANSI A117.1-2009 standard barrier free requirements which may require modification to the design and/or cost.
3. Performance bond, Payment bond, Bid bond and Builders Risk Insurance.
4. Soil engineering services and soil testing costs.
5. Permits and Plan Reviews
6. Temporary and Permanent electrical utility service installation.
7. Painting
8. Hazardous materials or conditions, known or unknown, resulting in additional costs to the project are not included including asbestos abatement.
9. Unforeseen poor sub-soil conditions resulting in additional costs to the project are not included.
10. Costs for cold weather construction. This includes but is not limited to ground thaw, temporary heat, covering areas for protection, extra finishing time, snow removal or other labor related to cold weather construction.
11. Joint fillers or special concrete sealers for areas of exposed concrete.
12. Sales or Use Tax
13. Liquidated damages or retainage.
14. Effects from Force Majeure Events. Neither party shall be liable for any failure or delay in performing its obligations hereunder during any period in which such performance is prevented or delayed by any Force Majeure Event. A "Force Majeure Event" includes, but is not necessarily limited to, natural disasters (fire, storms, floods, weather, pandemic, etc.), governmental or social actions (war, invasion, terrorism, civil unrest, labor strikes, etc.), or other unforeseen circumstances outside the control of the Parties or their respective agents. If a Force Majeure Event occurs that partially or totally destroys the work, creates material supply shortages, or alters the cost of materials as a result of the Force Majeure Event after the date of quote acceptance, contractor is entitled to an equitable adjustment in contract sum and/or contract time.
15. Any and all materials not explicitly noted as included or furnished.
16. Landscaping.
17. Transportation of equipment or personnel to or from the island.
18. Any other items not specifically called out as included in the above proposal.

ACCEPTANCE OF PROPOSAL

ACCEPTED BY  DATE 3/18/25
Stuart Johnson, P.E., COO
A.C.E. Building Service, Inc.

ACCEPTED BY _____ DATE _____

Town of Gibraltar



ACCEPTANCE OF PAYMENT TERMS

Monthly billings as work progresses. Payment terms are net 30 days. 2% interest per month will be charged after due date.

This proposal is valid through 4/15/2025.

Payment terms accepted _____ (initial) _____ (date)

Payment Information:

1. Customer name for billing purposes: _____

2. Billing Address – Please indicate the billing address if different than physical address:

Street _____

City/State/Zip _____

3. Contact(s) for billing – Please indicate who should receive invoices:

Name _____

Phone _____

Email _____

Name _____

Phone _____

Email _____

Funding Source: Acceptance of this contract is contingent upon verification of financing. Please provide the following information:

___ Customer Funds: Provide bank contact to verify funds

Bank Contact & Phone #: _____

___ Loan: Provide Lending institution contact to verify financing

Lending Institution Contact & Phone#: _____

Title Company Contact & Phone#: _____



PROPOSAL

Attn: Travis Thyssen <u>Town of Gibraltar</u> Administrator 4097 Main St Fish Creek, WI 54212	Furnish labor and equipment to construct new 36x70 concrete slab on grade on Chambers Island.	Quote: 390/2 3/18/2025 Phone: 920-868-1725
---	---	--

We propose to furnish labor and equipment to construct a new 36'x70' concrete slab on grade for new pre-engineered metal building on Chambers Island, Door County, WI. No material is included in this proposal unless explicitly called out in the below.

Work to be completed according to the information provided in the request for proposal. At the time of the writing of this proposal, the foundation plan referend in the request for proposal was not available, as such the slab details are per email from Travis Thyssen on 3/4/2025.

Acceptance of this proposal is contingent upon the acceptance of A.C.E. Building Service's proposal, 390/25B, for the assembly of the pre-engineered metal building.

All work per the following:

DIVISION 1 - GENERAL REQUIREMENTS

It has been assumed in our proposal that the owner has the legal right to build on the property involved and that the land is properly zoned for the type of occupancy proposed. It has also been assumed that the local, state and federal environmental protection laws can be complied with by the intended occupancy and use of the building. We have not taken the responsibility to determine if these requirements can be met.

A.C.E. Building Service will provide general liability, auto liability, and workmen compensation, paying the cost of such insurance and providing a copy of the certificate of insurance within 14 days of commencing construction. The cost of a temporary toilet is included. Electrical power and water to be provided by and paid for by the owner. Site clean up of construction debris is included.

The Town of Gibraltar is to provide transportation via barge or ferry to the island for (2) A.C.E. trucks and (3) trailers. This includes one trip to the island and one trip returning to the mainland.

The Town of Gibraltar is to provide daily transport for A.C.E. personnel to and from the island.

DIVISION 2 - SITE WORK

It is assumed in our proposal that the project area will be cleared, grubbed, and rough graded to within 1" of the final required grade for both the building pad and surrounding site by others prior to mobilization. It is also assumed that there is adequate material on the immediate project site without the need for trucking to complete the construction of the building pad. Finally, it is assumed that the material on site will be appropriate for use as material for construction and will be free of debris and organic matter.

All fill material to be installed in compacted thickness lifts not greater than 12" thick and compacted to a minimum of 95% dry density modified proctor.

Quote #390/25A



Fine grading and compacting the building pad is included

Excavation for the at grade footings is included.

Backfilling the building slab is included.

Excess materials to be stockpiled and remain on site.

Perform weekly site clean-up and final construction clean.

DIVISION 3 – CONCRETE

Furnish labor and equipment to construct (8) 2'x2'x2' footings at column base locations.

Furnish labor and equipment to construct a 36' x 70' x 6" thick concrete slab with ½" rebar 2' on center in each way.

Anchor bolts, concrete, sealer, reinforcing for the slab and footings, and chairs to be supplied by owner. A.C.E. Building Service will provide a list of required materials within 10 business days of award.

A.C.E. Building Service to supply form lumber and release agent.

Concrete testing as required by OSHA is included.

BASE QUOTE TOTAL \$49,734.00

(Forty-Nine Thousand, Seven Hundred and Thirty-Four Dollars and Zero Cents)

ALTERNATE #1 – ADD GRADE BEAM FOUNDATION

Add to the base quote to furnish the labor and equipment to install a perimeter 12" grade beam foundation with (4) 5'x5'x18" footings and (4) 6'x6'x18" footings in lieu of 2'x2'x2' footings only with 6" non-thickened edge slab.

ADD TO THE BASE QUOTE FOR ALTERNATE #1...\$10,738

(Ten Thousand, Seven Hundred and Thirty-Eight Dollars and Zero Cents)

NOT INCLUDED:

1. This proposal may be subject to state and local design reviews for approval and permits which may require modification to the design and/or cost.
2. Full and complete compliance with ADA, ICC/ANSI A117.1-2009 standard barrier free requirements which may require modification to the design and/or cost.
3. Performance bond, Payment bond, Bid bond and Builders Risk Insurance.
4. Soil engineering services and soil testing costs.
5. Permits and Plan Reviews
6. Temporary and Permanent electrical utility service installation.
7. Painting
8. Hazardous materials or conditions, known or unknown, resulting in additional costs to the project are not included including asbestos abatement.
9. Unforeseen poor sub-soil conditions resulting in additional costs to the project are not included.
10. Costs for cold weather construction. This includes but is not limited to ground thaw, temporary heat, covering areas for protection, extra finishing time, snow removal or other labor related to cold weather construction.
11. Joint fillers or special concrete sealers for areas of exposed concrete.
12. Sales or Use Tax
13. Liquidated damages or retainage.
14. Effects from Force Majeure Events. Neither party shall be liable for any failure or delay in performing its obligations hereunder during any period in which such performance is prevented or delayed by any Force Majeure Event. A "Force Majeure Event" includes, but is not necessarily limited to, natural disasters (fire, storms, floods, weather, pandemic, etc.), governmental or social actions (war, invasion, terrorism, civil unrest, labor strikes, etc.), or other unforeseen circumstances outside the control of the Parties or their respective agents. If a Force Majeure Event occurs that partially or totally destroys the work, creates material supply shortages, or alters the cost of materials as a result of the Force Majeure Event after the date of quote acceptance, contractor is entitled to an equitable adjustment in contract sum and/or contract time.
15. Any and all materials not explicitly noted as included or furnished.
16. Landscaping.
17. Transportation of equipment or personnel to or from the island.
18. Any other items not specifically called out as included in the above proposal.

ACCEPTANCE OF PROPOSAL

Quote + Alternate(s) Accepting _____

Total accepting amount after considering this quotation.

(Fill in the total accepting amount below)

\$ _____

ACCEPTED BY  DATE 3/18/25
Stuart Johnson, P.E., COO
A.C.E. Building Service, Inc.

ACCEPTED BY _____ DATE _____

Town of Gibraltar



ACCEPTANCE OF PAYMENT TERMS

Monthly billings as work progresses. Payment terms are net 30 days. 2% interest per month will be charged after due date.

This proposal is valid through 4/15/2025.

Payment terms accepted _____ (initial) _____ (date)

Payment Information:

1. Customer name for billing purposes: _____

2. Billing Address – Please indicate the billing address if different than physical address:
 Street _____
 City/State/Zip _____

3. Contact(s) for billing – Please indicate who should receive invoices:
 Name _____
 Phone _____
 Email _____

 Name _____
 Phone _____
 Email _____

Funding Source: Acceptance of this contract is contingent upon verification of financing. Please provide the following information:

- ___ Customer Funds: Provide bank contact to verify funds
 Bank Contact & Phone #: _____
- ___ Loan: Provide Lending institution contact to verify financing
 Lending Institution Contact & Phone#: _____
 Title Company Contact & Phone#: _____

ERECTION Estimate/Bid for Chambers Island Storage and Fire Station Building

Customer info:

Town of Gibraltar
P.O. Box 850 Fish Creek ,WI, 54212
Contact : Travis Thysson
Phone - 920-421-3323

Contractor:

Royalty Concrete Construction
920-473-0388
Jason & Sara Terhardt
5650 W Carlsville Rd
Sturgeon Bay, Wi

Project:

ERECTION OF 36' x 70' x 16' STEEL NATION BUILDING

1.) LABOR Only to build / assemble 36' x 70'x 16' Steel Building

TOTAL JOB ESTIMATE- \$ 28,800.00

Date : 3-10-2025

Prices good till: 6-1-2025

Bonus Proposal : If Royalty Concrete Construction is awarded BOTH estimates

we are offering a 50 % discount on a rough backfill grading around the building after completion. For 24 man hours / \$1800.00. So we would charge an additional \$ 900.00 for this. If this option is awarded / chosen the above amount will be added to the final billing.

Contract/Down Payment - 15% down payment to schedule and start project.

(Needed with signed contract - this ensures your job to be added to our schedule). Then a payment of 30% after the frame of the building is completed. After the building is completed the balance will be due at time of completion.

Notes:

••Town Gibraltar to supply Building package and all materials needed and transportation to the Island. Then for equipment town will supply a Tell-a- boom (Lund) , a scissors lift, a generator for power, a bucket tractor for rough grading if this is added on . Also barge our trailer over to house our tools and such.

•• We have included a supply list of Materials with the Bid

Thank you,
Jason and Sara Terhardt
920-473-0388
920-473-0385

ERECTION OF BUILDING CONTRACT : **for Chambers Island Storage and Fire Station Building**

Customer info:

Town of Gibraltar
P.O. Box 850 Fish Creek ,WI, 54212
Contact : Travis Thysson
Phone - 920-421-3323

Contractor:

ROYALTY CONCRETE CONSTRUCTION
Jason & Sara Terhardt
5650 W Carlsville Rd
Sturgeon Bay, WI
920-473-0388

We purpose hereby to furnish labor - complete in accordance with the specifications in the estimate, for the sum of \$ 28,800.00

Payments to be made as follows: 15% down payment (\$4,320.00) to order schedule and start work. Then 30 % due after the frame of building is done. The remaining balance due upon completion of work . A finance charge of 1 1/2% per month will be due on any unpaid balance, (30) days from completion of the work.

Respectfully submitted,
Jason Terhardt
Sara Terhardt

Acceptance of proposal

The above prices, specifications and conditions are satisfactory and hereby accepted. Payments will be made as outlined above. Please make All Checks payable to Jason Terhardt

Signed:

Date:

Jason and Sara Terhardt
920-473-0388
920-473-0385
Please make All Checks payable to Jason Terhardt

CONCRETE Estimate/Bid for Chambers Island Storage and Fire Station Building

Customer info:

Town of Gibraltar

P.O. Box 850 Fish Creek ,WI, 54212

Contact : Travis Thysson

Phone - 920-421-3323

Contractor:

Royalty Concrete Construction

920-473-0388

Jason & Sara Terhardt

5650 W Carlsville Rd

Sturgeon Bay, Wi

Project:

36'x 70' concrete slab as per detail drawing

1.) 36' x 70' concrete slab with 12" x 16" thicken edge and 6" thick floor

- Site prep / Excavation sub grade of Native Soils
- Digging 8 - 16"x 36" Sono Tubes with rebar reinforcement
- Forming concrete forms

- 2 rows of 1/2 inch rebar around perimeter top and bottom

- 2' x 2' x 1/2" rebar mat

- 6 mil poly under concrete

- smooth / hard trowel finish

- cure n seal sealer applied
- saw cut control

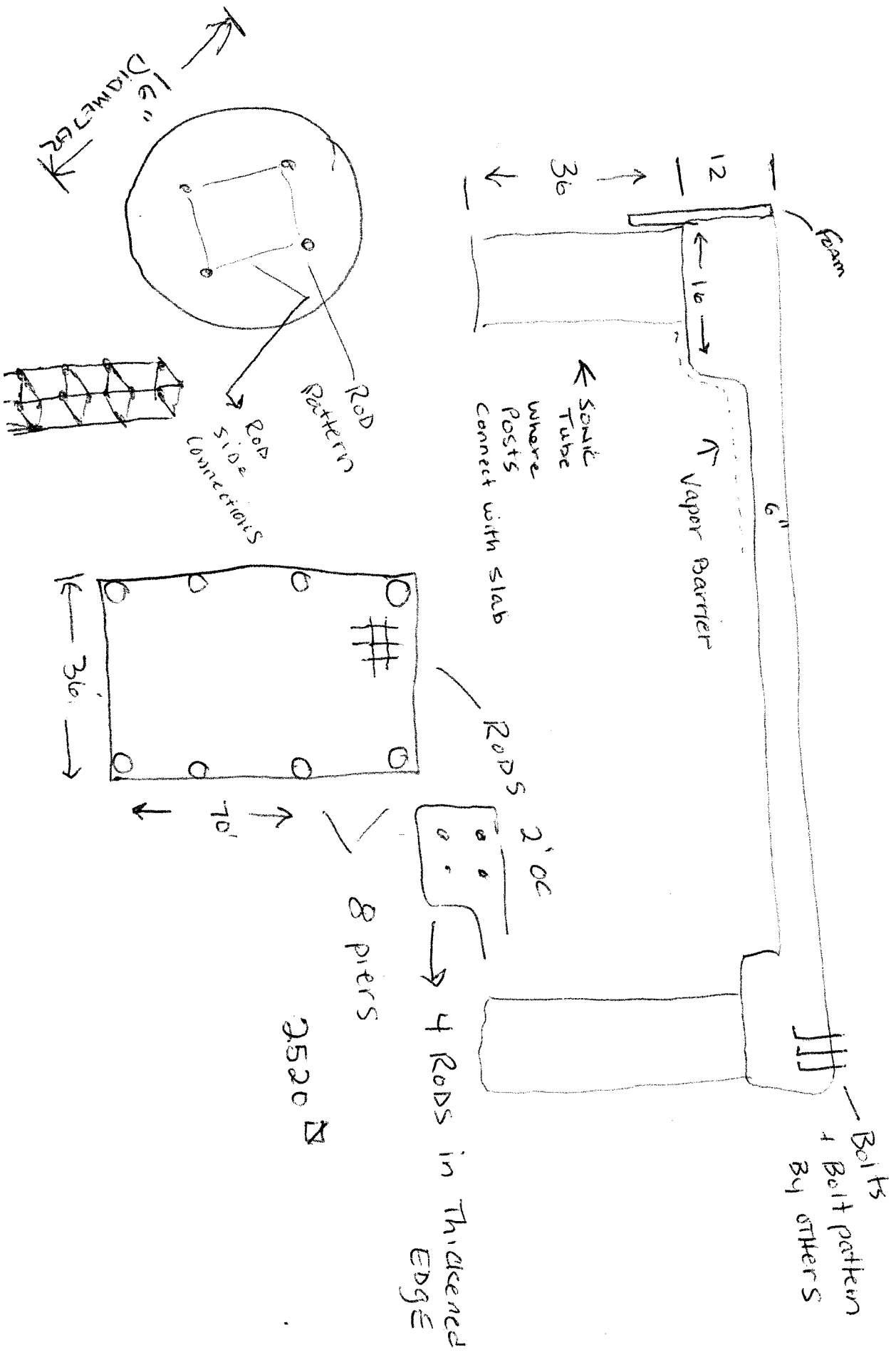
TOTAL JOB ESTIMATE- \$ 23,800.00

Date : 3-10-2025

Prices good till: 6-1-2025

Contract/Down Payment - 15% down payment to schedule and start project.

Concrete Slab



SUBJECT Materials List For Concrete
SLAB PORTION:

- LUMBER -

- 25 - 2" x 4" x 10'
- 16 - 2" x 12' x 14'
- 3 - 2" x 4" x 12'
- 8 - 16" x 36" Deep Sono Tubes (24 Lineal ft)
- 6 mil Vapor Barrier (2 Rolls - 20' x 100')
- 1/2" Rebar - 250 pieces
- 1/2" Rebar chairs or cement bricks
- 6" Rebar Loop Ties
- 2 - 5 gallon Buckets of TK SEALER - CURE N SEAL
 * ORDER WITH CONCRETE / PCI
- 2 - 5 lb Boxes of 16DD NAILS
- 2 - 5 lb Boxes of 2 3/4" DECK SCREWS TORX 25 or Square

** ERECTION OF BUILDING **

20 - 20' 2" x 4" FOR BRACING

Estimate

John Skotzke Concrete Construction, Inc.

**7203 State Road 76
Neenah, WI 54956
(920) 725-7826**

Estimate Done By: **Tim Wiensch**
Estimate # **GIBT1085**
Date: **3/4/2025**
Price Good Through: **5/3/2025**

Submitted To:

**Town of Gibraltar
P.O. Box 850
Fish Creek WI 54212**

Project Site:

**Chambers Island Storage
Chambers Island
Tn of Gibraltar**

Phase II: (Flatwork)

Phone: 920-868-1714

Description:	Quantity	Units	Total
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Labor to Set & Pour Building Slab	180	Hours	\$15,660.00
Option: Site Prep (Excavation, Grading, Prep Sub Grade w/ Native Materials) Add \$5,220 Slab Reinforcing (if Required)	2520	Sq. Ft.	\$3,150.00

Estimate Assumes Concrete to be Purchased by Owner

Price assumes accessibility for Concrete Trucks and all other equipment. All rough grades for slabs needing materials by Skotzke will be invoiced @ \$25 per ton, unless previously bid above. Any extra time due to the lack of the mentioned items above will be charged back to the customer.

Excessive Backfilling of Plumbing Trenches Will be Backcharged at a Rate of \$75/man hour.

Total Quote..... \$18,810.00

Net 10 Days. Interest will be charged at 1 1/2% per month on overdue accounts. As required by the Wisconsin construction lien law, Builder hereby notified that persons or companies furnishing labor or materials for the construction owner's land may have lien rights on owner's land and building if not paid. Those entitled to lien rights, in addition to John Skotzke Concrete Construction, Inc., are those who contract directly with the owner or those who give you notice within 60 days after they furnish labor or materials for the construction. Accordingly, owner probably will receive notice from those who furnish labor or materials for the construction, and should give a copy of each notice received to his mortgage lender, if any. Builder agrees to cooperate with owner and his lender, if any, to see that all potential lien claimants are duly paid.

Special Note: John Skotzke Concrete Construction, Inc. will make every effort possible not to damage lawns and landscape.
However, unless otherwise stated, backfill and landscaping work are not included in the proposal price.

Signature Accepts Contract Price

Signature of Buyer: _____

TOWN OF GIBRALTAR, WISCONSIN

After completion of financial statements this worksheet to send to the Board. They use it to determine if they have any available unassigned fund balance to transfer to their capital or debt service funds or if they are short for minimum fund balance, to transfer monies to the GF from capital. **As per their policy, At the end of each year after close-out of all revenues and expenditures, any amount in excess of the minimum unassigned fund balance of 18% remaining in the unassigned fund balance will be considered for transfer to the Capital Outlay and Debt Service committed fund balance account.**

Minimum Fund Balance Calculation	
2023 General fund budgeted expenditures, not including debt service	\$ 2,949,195
Minimum Fund Balance %	(X) 18%
Minimum Fund Balance Amount	\$ 530,855 (1)

2024 Expenditures- per published budget	\$ 2,949,195	See Right
Less: Airport (not Town expenditures)	-	none per 0631.30a
Less: Marina expenses included in GF budget in error	-	none in 501 per 0631.30a
Less: Debt Service	-	none - separated in CY
Total 2023 Budgeted Expenditures less debt service and outlay funded with debt service	\$ 2,949,195	

Calculation of Amount Available to Transfer to Committed Funds

December 31, 2024 Unassigned Funds - before approved board transfer	\$ 997,625
Less amount required for minimum fund balance policy	(1) (530,855)
Amount available for transfer to capital outlay and debt service committed funds	\$ 466,770 (2)

Capital Projects Fund Committed Funds Detail and Rollover

Balance January 1, 2024	\$ 702,440	PY
Plus: Current Year Bank Interest (account 401-00-48100-000-000)	34,615	
Add: Grants/Misc Revenues in CY	1,314,640	
Less: Expenditures in CY	(1,317,293)	
Less: amounts transferred to general fund for capital items	42,200	
Add: Board approved transfer	-	
Deduct: Board approved transfer- shortfall of GF- minimum fund balance	-	
Balance December 31, 2024 after final transfer approval	\$ 776,602	CY

Amount to Assign/Commit	\$ (2) 466,770
Debt Service Commit as per 3003.02	-
General Capital Projects per 3003.02	-
Final Unassigned General Fund Amount	466,770

NOTICE OF PUBLIC HEARING AND NOTICE OF A SPECIAL TOWN MEETING OF THE ELECTORS

Notice is hereby given that the Gibraltar Town Board has scheduled a public hearing on the Proposed 2025 Budget for the Town of Gibraltar to be held at the Gibraltar Town Center, 4097 Alan Street, Fish Creek, Wisconsin, at 6:45 p.m. on Wednesday, November 13, 2024.

Notice is hereby given that on Wednesday, November 13, 2024 immediately following the completion of the public hearing on the proposed budget which began at 6:45 p.m. in the Gibraltar Town Center, a special town meeting of the electors to approve the 2024 total town tax levy to be collected in 2025 pursuant to s. 60.10(1)(a) of Wis. Statutes.

Notice is hereby given that on Wednesday, November 13, 2024 immediately following the completion of the Special Meeting of the Electors the Gibraltar Town Board will conduct a regular monthly Town Board Meeting and Adopt the 2025 Town Budget.

	GENERAL FUND			CAPITAL PROJECTS FUND	
	2024	PROPOSED 2025	CHANGE %	DEBT SERVICE FUND 300	PROJECTS FUND 401
EXPENDITURES:					
GENERAL GOVERNMENT	\$ 1,275,253.00	\$ 1,389,133.00			\$ 1,389,133.00
PUBLIC SAFETY	\$ 546,119.00	\$ 580,302.00			\$ 580,302.00
PUBLIC WORKS	\$ 602,600.00	\$ 577,100.00			\$ 902,126.00
HEALTH & HUMAN SERVICES	\$ 6,238.00	\$ 5,938.00			\$ 5,938.00
CULTURE/REC/EDUCATION	\$ 147,925.00	\$ 161,890.00			\$ 161,890.00
DEBT SERVICE	\$ 79,187.00	\$ 79,187.00			\$ 1,372,502.00
CONSERVATION AND DEVELOPMENT	\$ 83,982.00	\$ 80,722.00			\$ 80,722.00
CAPITAL EXPENSE/OUTLAY	\$ 42,200.00	\$ 74,923.00			\$ 74,923.00
TOTAL EXPENDITURES	\$ 2,785,504.00	\$ 2,949,195.00			\$ 4,567,536.00
			5.88%		
REVENUES AND OTHER FINANCING SOURCES:					
TOWN LEVY	\$ 1,653,444.00	\$ 1,679,856.00			\$ 1,679,856.00
OTHER TAXES/REIMBURSEMENT	\$ 384,000.00	\$ 394,000.00			\$ 394,000.00
INTERGOVERNMENTAL REVENUES	\$ 499,226.00	\$ 548,117.00			\$ 548,117.00
LICENSES AND PERMITS	\$ 69,775.00	\$ 76,800.00			\$ 76,800.00
FINES AND FORFEITURES	\$ -	\$ -			\$ -
PUBLIC CHARGES FOR SERVICE	\$ 7,725.00	\$ 13,000.00			\$ 13,000.00
INTERGOVT CHARGES FOR SERVICE	\$ 6,700.00	\$ 8,000.00			\$ 8,000.00
MISCELLANEOUS REVENUE	\$ 160,634.00	\$ 186,922.00			\$ 186,922.00
FUNDS APPLIED TO THE LEVY	\$ -	\$ -			\$ -
MONEY CARRIED OVER	\$ 4,000.00	\$ 10,000.00			\$ 10,000.00
BOND PROCEEDS	\$ -	\$ -			\$ -
CHP TRANSFER IN	\$ -	\$ 32,500.00			\$ 32,500.00
LOAN PROCEEDS	\$ -	\$ -			\$ 325,026.00
TOTAL REVENUE	\$ 2,785,504.00	\$ 2,949,195.00			\$ 4,567,536.00
			5.88%		
Beginning of year Undesignated Fund Balance \$414,577					
Estimated end of year Undesignated Fund Balance \$578,212					



General Checking

ALL Checks

Posted From: 3/06/2025 From Account:
Thru: 4/04/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
46319	3/07/2025	Buske, Laurie	171.00
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
46320	3/07/2025	Merkel, Barbara	166.50
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
46321	3/07/2025	Zellner, Leon	24.00
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
46357	3/10/2025	AT&T Mobility cell phone	208.73
46358	3/10/2025	Ewald Chevrolet Buick LLC 2025 3500HD w lift	76,794.50
46359	3/10/2025	Securian Financial Group, Inc April 2025	304.62
46360	3/12/2025	Wisconsin Towns Association Attn: Karisa, Dustine Reinert balance	74.00
46361	3/21/2025	Richard, Mark	189.32
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
46362	3/20/2025	Generations Landscape & Excavating, Inc trail connectivity, CIF grant funds	6,850.00
draft	3/14/2025	Dept. of Employee Trust Funds Feb wrs	7,937.22
	Manual Check		
draft	3/06/2025	EFTPS 03/07/25	7,986.08
	Manual Check		
draft	3/07/2025	Wisconsin Deferred Comp 03/07/25 payroll	477.82
	Manual Check		
draft	3/26/2025	Nicolet National Bank	7,254.43
	Manual Check		
draft	3/13/2025	Wisconsin Department of Revenue sales tx	795.77
	Manual Check		
draft	3/17/2025	Dept. of Employee Trust Funds April invoice	22,482.56
	Manual Check		
draft	3/20/2025	Wisconsin Public Service Electric	4,320.38
	Manual Check		
draft	3/18/2025	Wisconsin Department of Revenue Withholding	1,168.76
	Manual Check		
draft	3/21/2025	EFTPS 03/18/2025	5,889.33
	Manual Check		
draft	3/21/2025	Wisconsin Deferred Comp 03/21/2025	427.87
	Manual Check		

General Checking

ALL Checks

Posted From: 3/06/2025 From Account:
Thru: 4/04/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
draft	3/21/2025	Wisconsin Deferred Comp	-0.05
	Manual Check	to correct check, over	
draft	3/19/2025	US Bank Equipment Finance	1,388.73
	Manual Check	camera lease payment	
draft	3/31/2025	Delta Dental of Wisconsin	295.80
	Manual Check	Supplemental Billing, vision	
draft	4/03/2025	Wisconsin Department of Revenue	1,048.90
	Manual Check	Withholding 3/31/25	
draft	4/03/2025	BP Products of North America, Inc	2,179.72
	Manual Check	Fuel	
draft	4/04/2025	EFTPS	7,634.30
	Manual Check	04/04/2025	
draft	4/04/2025	Wisconsin Deferred Comp	477.82
	Manual Check	04/04/2025 payroll	
draft	4/04/2025	Town of Gibraltar	50.00
	Manual Check	desk for dock office	
V2897	3/07/2025	Bertges, Andrew	2,095.70
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2898	3/07/2025	Birmingham, Thomas	528.97
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2899	3/07/2025	Cain-Bieri, Theresa	1,883.87
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2900	3/07/2025	Chomeau, Vinni	528.97
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2901	3/07/2025	Crowell, Andrew	1,725.11
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2902	3/07/2025	Dauffenbach, Darrin	136.81
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2903	3/07/2025	Fairchild, John	1,455.27
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2904	3/07/2025	Fischer, Amanda	70.32
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2905	3/07/2025	Heck, Jeffrey	1,320.94
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2906	3/07/2025	Huberty, Colleen	1,356.67
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2907	3/07/2025	Jarosz, Jeffrey	241.63
	Manual Check	Pay period 02/01/2025 to 02/28/2025	

General Checking

ALL Checks

Posted From: 3/06/2025 From Account:
Thru: 4/04/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
V2908	3/07/2025	Kudick, Wayne	92.35
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2909	3/07/2025	Lancaster, Sara	225.79
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2910	3/07/2025	Lautenbach, Amy	125.73
	Manual Check	Pay period 01/01/2025 to 02/28/2025	
V2911	3/07/2025	Lengh, Robert	321.81
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2912	3/07/2025	Linczmaier, Kurt	1,773.97
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2913	3/07/2025	Martin, Sarah	68.00
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2914	3/07/2025	Merkel, Jayson	1,382.19
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2915	3/07/2025	Merline, Linda	92.35
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2916	3/07/2025	Murre, Adrian	699.35
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2917	3/07/2025	Neu, Beth	582.11
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2918	3/07/2025	Pillat, Paul	92.35
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2919	3/07/2025	Reetz, Laura	1,573.14
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2920	3/07/2025	Reichert, Patricia	119.00
	Manual Check	Pay period 01/01/2025 to 02/28/2025	
V2921	3/07/2025	Reinert, Dustin	1,342.14
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2922	3/07/2025	Roesch, Ryan	1,949.34
	Manual Check	Pay period 02/16/2025 to 03/01/2025	
V2923	3/07/2025	Selenica, John	1,427.03
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2924	3/07/2025	Sherman, Angela	92.35
	Manual Check	Pay period 01/01/2025 to 02/28/2025	
V2925	3/07/2025	Sohns, Steven	1,009.72
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2926	3/07/2025	Thyssen, Travis	2,601.73
	Manual Check	Pay period 02/16/2025 to 03/01/2025	

General Checking

ALL Checks

Posted From: 3/06/2025 From Account:
Thru: 4/04/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
V2927	3/07/2025	Volpe, Robert	739.40
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2928	3/07/2025	Weitman, Steven	510.20
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2929	3/07/2025	Wilson, Karen	80.75
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2930	3/07/2025	Witalison, Travis	670.90
	Manual Check	Pay period 02/01/2025 to 02/28/2025	
V2931	3/21/2025	Bertges, Andrew	2,095.70
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2932	3/21/2025	Cain-Bieri, Theresa	1,928.13
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2933	3/21/2025	Crowell, Andrew	1,725.11
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2934	3/21/2025	Fairchild, John	1,455.27
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2935	3/21/2025	Huberty, Colleen	1,369.48
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2936	3/21/2025	Linczmaier, Kurt	1,787.73
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2937	3/21/2025	Reetz, Laura	1,590.21
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2938	3/21/2025	Reinert, Dustin	1,342.14
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2939	3/21/2025	Roesch, Ryan	1,949.34
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2940	3/21/2025	Thyssen, Travis	2,601.73
	Manual Check	Pay period 03/02/2025 to 03/15/2025	
V2941	4/04/2025	Bertges, Andrew	2,095.70
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2942	4/04/2025	Birmingham, Thomas	575.15
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2943	4/04/2025	Blackwood, Thomas	69.26
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2944	4/04/2025	Cain-Bieri, Theresa	1,883.87
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2945	4/04/2025	Chomeau, Vinni	575.15
	Manual Check	Pay period 03/01/2025 to 03/31/2025	

General Checking

ALL Checks

Posted From: 3/06/2025 From Account:
Thru: 4/04/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
V2946	4/04/2025	Crowell, Andrew	1,725.11
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2947	4/04/2025	Fairchild, John	1,455.27
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2948	4/04/2025	Heck, Jeffrey	1,704.61
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2949	4/04/2025	Huberty, Colleen	1,369.48
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2950	4/04/2025	Jarosz, Jeffrey	78.01
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2951	4/04/2025	Kudick, Wayne	69.26
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2952	4/04/2025	Lancaster, Sara	69.26
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2953	4/04/2025	Lautenbach, Amy	70.32
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2954	4/04/2025	Lengh, Robert	698.61
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2955	4/04/2025	Linczmaier, Kurt	1,787.73
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2956	4/04/2025	Merkel, Jayson	1,233.80
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2957	4/04/2025	Merline, Linda	69.26
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2958	4/04/2025	Murre, Adrian	623.69
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2959	4/04/2025	Mustafa, Tas	448.06
	Manual Check	Pay period 01/01/2025 to 03/31/2025	
V2960	4/04/2025	Neu, Beth	271.81
	Manual Check	Pay period 03/01/2025 to 03/29/2025	
V2961	4/04/2025	Pillat, Paul	69.26
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2962	4/04/2025	Reetz, Laura	1,590.21
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2963	4/04/2025	Reinert, Dustin	1,342.14
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2964	4/04/2025	Reynolds, Stephan	70.32
	Manual Check	Pay period 03/01/2025 to 03/31/2025	

4/04/2025

1:46 PM

Reprint Check Register - Quick Report - ALL

General Checking

ALL Checks

Posted From: 3/06/2025 From Account:
Thru: 4/04/2025 Thru Account:

Check Nbr	Check Date	Payee	Amount
V2965	4/04/2025	Roesch, Ryan	1,949.34
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2966	4/04/2025	Selenica, John	652.10
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2967	4/04/2025	Sohns, Steven	920.91
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2968	4/04/2025	Thyssen, Travis	2,601.73
	Manual Check	Pay period 03/16/2025 to 03/29/2025	
V2969	4/04/2025	Volpe, Robert	418.01
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2970	4/04/2025	Weitman, Steven	144.51
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
V2971	4/04/2025	Witalison, Travis	255.06
	Manual Check	Pay period 03/01/2025 to 03/31/2025	
Grand Total			230,245.91

4/04/2025

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Reprint Check Register - Quick Report - ALL

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ACCT

General Checking

ALL Checks

Posted From: 3/06/2025
Thru: 4/04/2025

From Account:
Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND

227,808.09

Total Expenditure from Fund # 501 - DOCK FUND

2,437.82

Total Expenditure from all Funds

230,245.91

4/04/2025

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In Progress Checks - Quick Report - ALL

Page: 1

ALL Checks by Payee

ACCT

General Checking

Dated From:

From Account:

Thru:

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
	3/31/2025	Associated Appraisal Consultants, Inc. april	1,316.71
	4/04/2025	AT&T Mobility cell phone	208.68
	3/31/2025	Bay-Lake Regional Planning Commission bayshore trail feasibility, tap grant exp	16,485.23
	4/04/2025	Baylake Electric, LLC post office handicap pedestal	1,550.00
	4/04/2025	Cedar Corporation island view/juddville	3,555.00
	3/31/2025	CliftonLarsonAllen, LLP audit, progress billing	2,222.64
	3/31/2025	Climate Change Coalition of Door County white pines and white spruces	110.00
	3/31/2025	Community First National Bank Fire truck principal	79,409.54
	4/04/2025	Conway, Olejniczak & Jerry, S.C. raod, zoning, choke cherry, etc	2,420.50
	4/04/2025	Culligan Water Conditioning bottled water	84.15
	4/04/2025	Diggers Hotline 250 3 80951	18.40
	3/31/2025	DNR Accounts Receivable 370-0000040085	4,573.36
	4/04/2025	Door County Hardware felt pads for under desk	8.59
	4/04/2025	Door County IT dock camera system, gfci tripped	927.69
	4/04/2025	Door County Tourism Zone annual tourism zone admin	52,938.70
	3/31/2025	Door County Treasurer snow and ice control	15,372.97
	3/31/2025	Feld Fire mount, hydrant tool	397.33
	4/04/2025	Fish Creek Sanitary District #1 022-6000	3,891.50
	3/31/2025	Gall's Inc. letter custom, name tag	396.98

4/04/2025

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In Progress Checks - Quick Report - ALL

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ALL Checks by Payee

ACCT

General Checking

Dated From:

From Account:

Thru:

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
	4/04/2025	Gasco propane old town hall	3,978.26
	4/04/2025	Going Garbage & Recycling, Inc Garbage	1,186.01
	3/31/2025	Great Plains Fire 30 degree 5" storz	344.85
	4/04/2025	Harbor Hardware corner brace, tool bag, saw etc	182.30
	3/31/2025	Heiman Inc TFT Blitzfire Combo package	4,190.95
	3/31/2025	Impact Northeast WI shipping on ink	77.00
	4/04/2025	Inspection Specialist, LLC March 2025	1,025.00
	4/04/2025	Laura Reetz mileage reimbursement, election	218.40
	4/04/2025	Laurie Buske reimburse, extension cords, covers	162.29
	4/04/2025	Peninsula Pulse legal notices	317.90
	4/04/2025	Portside Builders return bonds	1,200.00
	4/04/2025	Red Power Diesel divider for dunnage area	1,556.74
	4/04/2025	Securian Financial Group, Inc May 2025	304.62
	3/31/2025	Sister Bay & Liberty Grove FF Assoc cpr training	35.00
	3/31/2025	Stafford Rosenbaum LLP dock, legal riparian rights	98.00
	4/04/2025	Stantec Consulting Services Inc sp consulting, grant procedures	3,467.25
	4/04/2025	Steel Nation Buildings, Inc Production Deposit	14,800.00
	3/31/2025	Synergy Heating & A/C old town hall, gas valve	702.00
	4/04/2025	Tri City Glass & Door auto door handicap operator, post office	6,285.00

4/04/2025

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In Progress Checks - Quick Report - ALL

Page: 3

ALL Checks by Payee

ACCT

General Checking

Dated From:

From Account:

Thru:

Thru Account:

Voucher Nbr	Check Date	Payee	Amount
	3/31/2025	Van's Fire & Safety, Inc Extinguisher servicing	611.90
	4/04/2025	Wisconsin Building Supply minwax wood stain, treated pine	44.54
	3/31/2025	Wisconsin Department of Natural Resources WS1243RC Lake Assault	5.00
	3/31/2025	Wisconsin Towns Association WTA Membership and TAC Membership	1,608.88
	3/31/2025	Witmer Public Safety Group wildland boot	358.44
		Grand Total	228,648.30

4/04/2025

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In Progress Checks - Quick Report - ALL

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ALL Checks by Payee

ACCT

General Checking

Dated From:
Thru:

From Account:
Thru Account:

Amount

Total Expenditure from Fund # 100 - GENERAL FUND	131,157.38
Total Expenditure from Fund # 300 - DEBT SERVICES	79,409.54
Total Expenditure from Fund # 401 - CAPITAL PROJECT 1	14,800.00
Total Expenditure from Fund # 402 - CAPITAL PROJECT 2	2,190.00
Total Expenditure from Fund # 501 - DOCK FUND	1,091.38
Total Expenditure from all Funds	228,648.30